

<u>SCOPE OF WORK:</u>	
MISC. INTERIOR RENOVATION IN APT #1, #2F, #4R, #5R. RENAME APTS TO #1RN, #2FS, #4RN, #5RN.WORK TO INCLUDE DEMO OF NON LOAD BEARING PARTITIONS, NEW NON LOAD BARING INTERIOR PARTITIONS, NEW BATHROOM AND KITCHEN FINISHES. NO CHANGE TO EGRESS, USE OR OCCUPANCY.	
<u>LIST OF SEPARATE APPLICATIONS</u>	
• PLUMBING AND STURCTURAL WORK FILED UNDER APPLICATION #	
<u>SPECIAL AND PROGRESS INSPECTIONS NOTES:</u>	
1. ALL RELATED REQUIRED SPECIAL AND PROGRESS INSPECTIONS FOR EACH SEPARATE APPLICATION SHALL BE FILED IN CONJUNCTION WITH THAT SPECIFIC APPLICATION.	
2. ALL CONSTRUCTION SHALL CONFORM TO THE RULES AND REGULATIONS OF THE BUILDING CODE OF THE CITY OF NEW YORK.	
3. SPECIAL AND PROGRESS INSPECTIONS SHALL BE MADE AND WITNESSED BY OR UNDER THE DIRECT SUPERVISION OF AN ARCHITECT OR ENGINEER RETAINED BY THE OWNER AND ACCEPTABLE TO THE ARCHITECT OF RECORD. TEST REPORTS AND CERTIFICATES OF INSPECTION SHALL BE FILED WITH THE BUILDING DEPARTMENT.	
SPECIAL AND PROGRESS INSPECTIONS UNDER THIS APPLICATION SHALL BE OBTAINED FOR THE FOLLOWING AREAS OF WORK.	
<u>LIST OF SPECIAL INSPECTIONS:</u>	
• STRUCTURAL STABILITY - EXISTING BUILDINGS	BC 1704.20.1
• FIRE-RESISTANT PENETRATIONS AND JOINTS	BC 1704.27
<u>LIST OF PROGRESS INSPECTIONS:</u>	
• ENERGY CODE COMPLIANCE INSPECTIONS	BC 110.3.5
• FIRE-RESISTANCE RATED CONSTRUCTION	BC 110.3.4
• FINAL*	28-116.2.4.2, BC 110.5, 110.6
DIRECTIVE 14 OF 1975, AND 1 RCNY §101-10	
<u>LIST OF ENERGY CODE PROGRESS INSPECTIONS:</u>	
• INSULATION PLACEMENT AND R-VALUES	(IA2), (IIA2)
• FENESTRATION & DOOR U-FACTOR & PRODUCT RATINGS	(IA3), (IIA3)
• FENESTRATION AIR LEAKAGE	(IA4), (IIA4)
• AIR BARRIER - VISUAL INSPECTION	(IA6), (IIA6)
• LIGHTING IN DWELLING UNITS	(IIC2)
<u>ENERGY CONSERVATION NOTE:</u>	
TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH 2020 NYCECC	
<u>NOTE TO CONTRACTOR:</u>	
CONTRACTOR IS RESPONSIBLE FOR PROVIDING RECEIPTS AND/OR SPECIFICATIONS FOR ANY AND ALL CONTROLLED INSPECTIONS INCLUDING SPECIAL, PROGRESS, & ENERGY CODE COMPLIANCE ITEMS AS REQUESTED BY ARCHITECT / ENGINEER.	
ALL SHOP DRAWINGS SHALL BE PRODUCED TO THE ARCHITECT / ENGINEER FOR APPROVAL PRIOR TO THE ORDER AND INSTALLATION OF SPECIFIED ITEM.	
<i>DRAWING LIST</i>	
ARCHITECTURAL DRAWINGS	
G-001	GENERAL NOTES, PLOT PLAN DRAWING LEGEND, DRAWING LIST FEMA FLOOD MAPS, ZONING MAPS
A-100	DEMOLITION FLOOR PLANS
A-101	CONSTRUCTION FLOOR PLANS
A-102	REFLECTED CEILING PLAN LIGHTING SCHEDULE NOTES ON EXHAUSTS & DAMPERS
A-500	MISCELLANEOUS DETAILS: WALL, FRAMING, CEILING, FIRESTOPPING, FIRE ENCLOSURE, LIGHT HOUSING,ENERGY ANALYSIS
A-501	HANDICAP ADAPTABLE DETAILS
*NOTE REGARDING TENANT PROTECTION PLAN	
THE GENERAL CONTRACTOR IS RESPONSIBLE TO RE THE SERVICES OF A REGISTERED DESIGN PROFESSIONAL TO PREPARE AND SUBMIT A TENANT PROTECTION PLAN TO THE DOB PRIOR TO THE ISSUANCE OF A WORK PERMIT.	
CONTRACTOR SHALL ALSO BE RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE DOB WITH NOTIFICATION 72-HRS PRIOR TO THE START OF WORK.	

18.75'(LOT)

100.42'(LOT)

EXISTING REAR YARD

AREA OF WORK, 1ST, 2ND, 4TH & 5TH FLOOR, APT#1, 2F, 4R, 5R ONLY

331 EAST 52ND STREET
LOT 115
EXISTING 5-STY
CLASS C5 -
MULTI-FAMILY
RESIDENTIAL
OCCUPANCY
TOTAL (9)
DWELLING
UNITS

Adjacent Building
LOT # 15

Adjacent Building
LOT # 16

100.42'(LOT)

18.75'(LOT)

EAST 52ND STREET

1 AVENUE

ADDRESS:
331 EAST 52ND ST
MANHATTAN, NY 10022

BLOCK / LOT: 1345 / 115

BIN#: 1039822

COMMUNITY BOARD: 01

ZONING/OVERLAY: R8B

ZONING MAP: #8D

SPECIAL DISTRICT: None

FLOOD ZONE: ZONE X (MIN. FLOOD HAZARD)

No.	REVISIONS	Date:

PHILIP TOSCANO ARCHITECTS
ARCHITECTURE • PLANNING
418 GRAHAM AVENUE
BROOKLYN, N.Y. 11211
TEL (718) 349-3350 FAX (718) 349-3479

Date: 10/04/2021

PROJECT ADDRESS: 331 EAST 52ND STREET

PROJECT SCOPE: INTERIOR APARTMENT RENOVATIONS: #1R #2F, #4R 5R. DEMOLITION WORK, NEW INTERIOR PARTITIONS AND NEW FINISHES. NO CHANGE TO USE, EGRESS OR OCCUPANCY

SHEET TITLE: GENERAL NOTES, PLOT PLAN, ZONING MAP, FEMA MAP, DRAWING LEGEND, INSPECTION LIST

CLIENT:
BURIM ZUTA
1480 ALPS RD
WAYNE, NJ 07470

DOB NOW BUILD JOB #:

M00594657-I1

SEAL

DATE: 09/07/2021

PROJECT NO: 08681

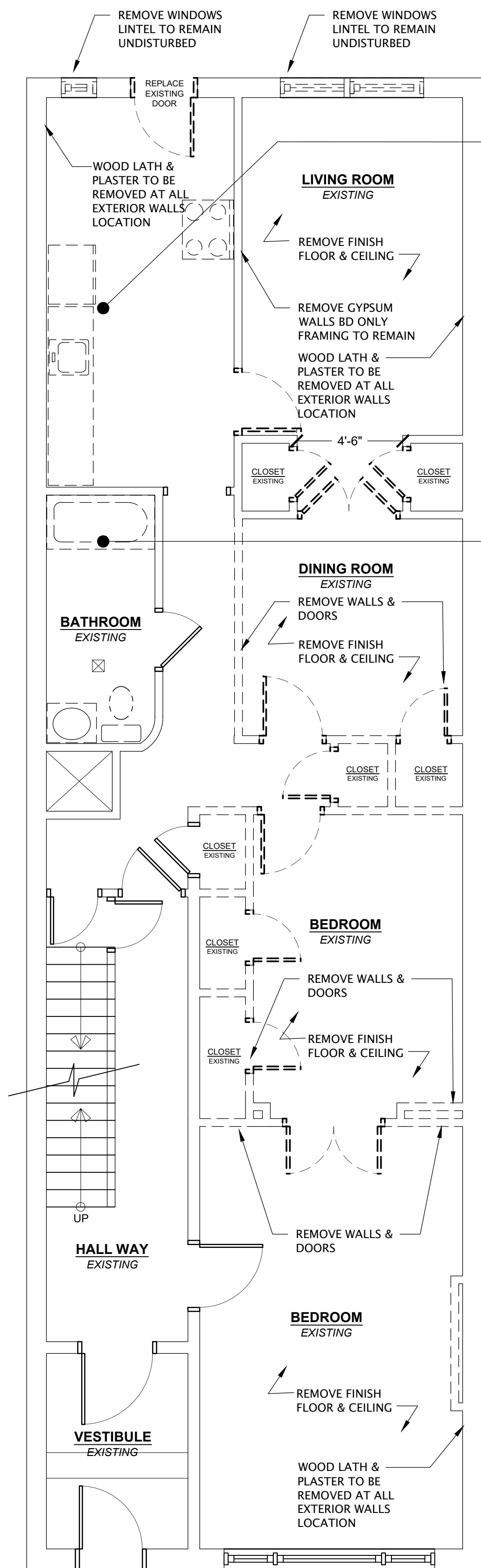
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CHECK BY: PTA

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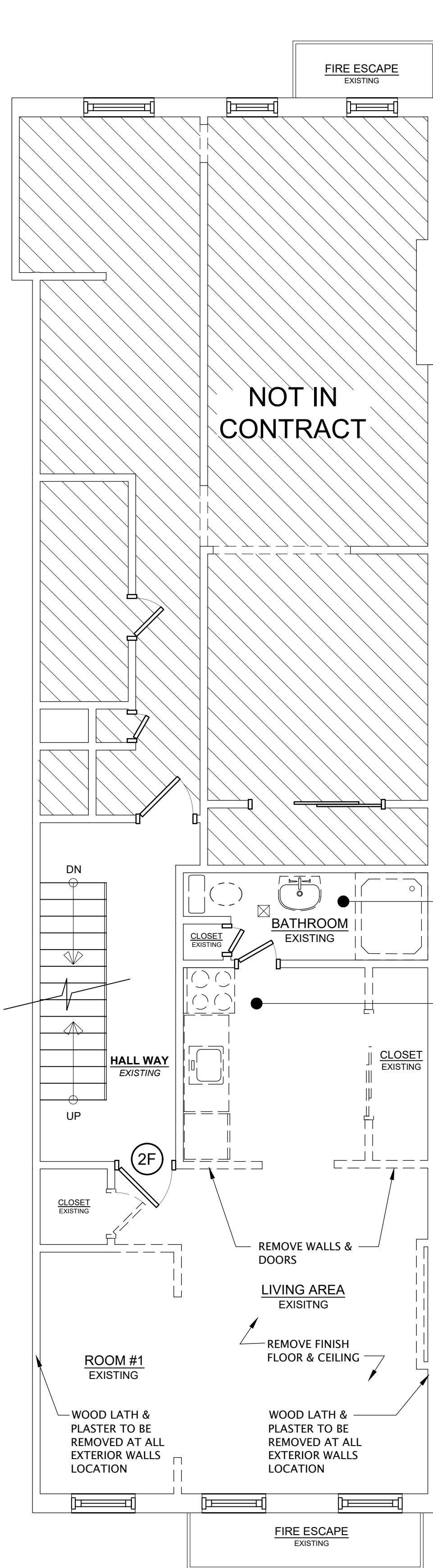
SHEET 1 OF 6

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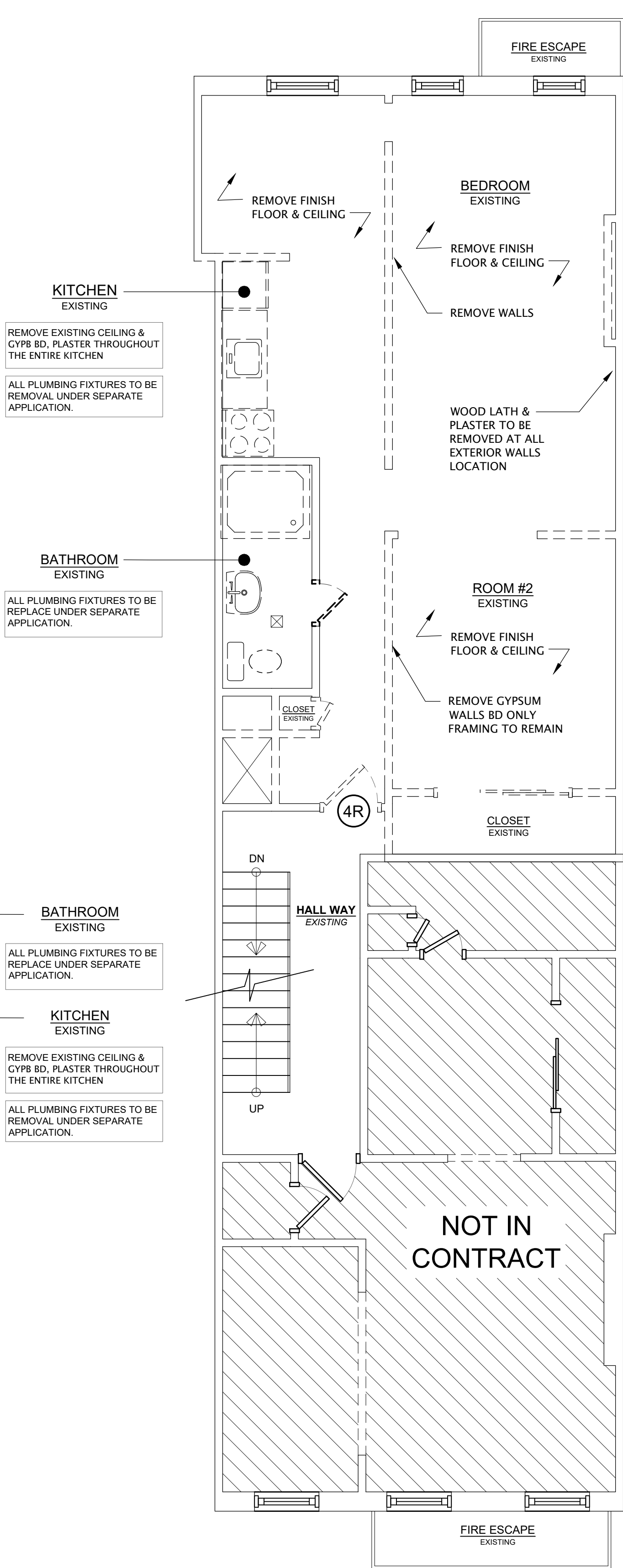
FIRST FLOOR APT #1R
DEMOLITION PLAN

SCALE: 1/8" = 1'-0"



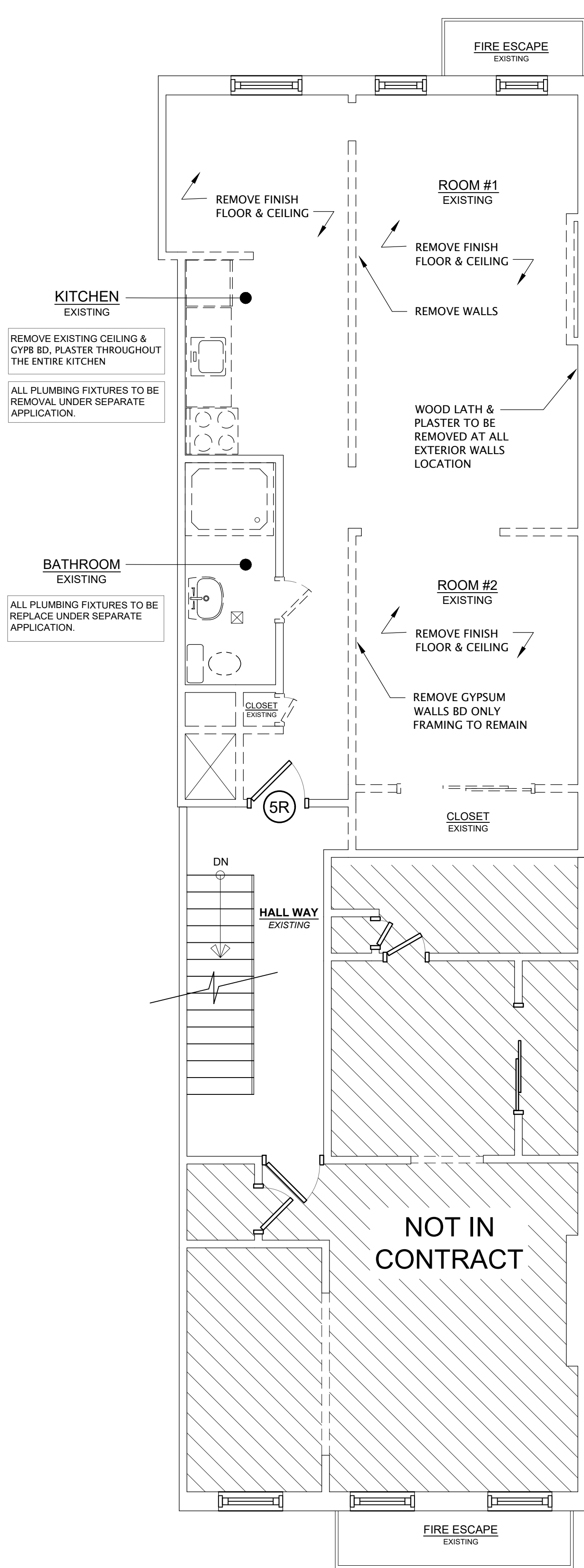
SECOND FLOOR,
APT#2F DEMOLITON PLAN

SCALE: 1/8" = 1'-0"



FOURTH FLOOR, APT#4R
DEMOLITION PLAN

SCALE: 1/8" = 1'-0"



FIFTH FLOOR, APT#5R
DEMOLITION PLAN

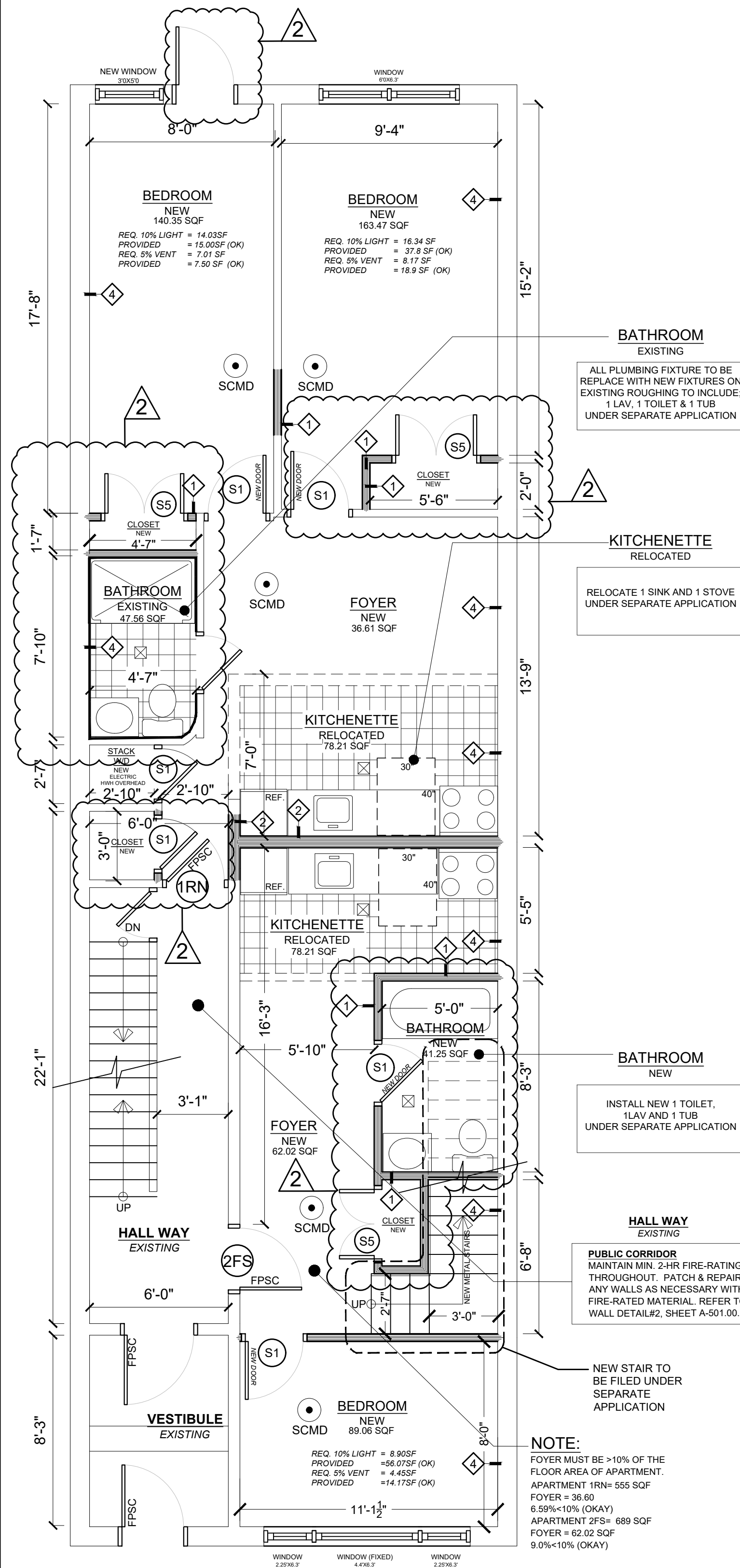
SCALE: 1/8" = 1'-0"

SYMBOL LEGEND	
SECTION SYMBOL =	DRAWING NUMBER PAGE NUMBER
DETAIL SYMBOL =	DRAWING NUMBER PAGE NUMBER
PARTITION SYMBOL =	WALL TYPE, SEE WALL DETAILS
DOOR SYMBOL =	DOOR NUMBER, SEE DOOR SCHEDULE
WINDOW SYMBOL =	WINDOW NUMBER, SEE WINDOW ASSEMBLY DETAILS

DRAWING LEGEND	
	- PARTITION TO BE REMOVED
	- NEW WALL - REFER TO WALL TAG DETAILS
	- EXISTING DOOR TO BE REMOVED
	- SINGLE-SWING DOOR (SEE DOOR TAG FOR NEW DOORS)
	- DOUBLE-SWING DOOR (SEE DOOR TAG FOR NEW DOORS)
	- FIRE-PROOF SELF-CLOSING DOOR (R.R. RATING AS INDICATED ON DOOR TAG)
	- WINDOW: DOUBLE-HUNG TYPE
	- RADIATOR
	- NEW PARQUET FLOOR
	- NEW TILE FLOOR
	- 75 CFM EXHAUST VENT TO EXTERIOR FAN SHALL BE CONTROLLED WITH A WALL-MOUNTED SWITCH AND SHALL COME WITH A MANUFACTURER PROVIDED BACKDRAFT DAMPER AND EXHAUST GRILLE.
	- SMOKE / CARBON MONOXIDE DETECTOR (INTER-CONNECTED AS PER BC 907.2.10.3)
	- DIMENSION LINE

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No.	REVISIONS	Date:
<div> <div> PHILIP TOSCANO ARCHITECTS ARCHITECTURE • PLANNING 418 GRAHAM AVENUE BROOKLYN, N.Y. 11211 TEL (718) 349-3350 FAX (718) 349-3479 </div> <div> <p>DATE: 10/04/2021</p> </div> </div>		
PROJECT ADDRESS: 331 EAST52ND STREET		
PROJECT SCOPE: INTERIOR APARTMENT RENOVATIONS: #1R #2F, #4R 5R. DEMOLITION WORK, NEW INTERIOR PARTITIONS AND NEW FINISHES. NO CHANGE TO USE, EGRESS OR OCCUPANCY		
SHEET TITLE: DEMOLITION PLANS		
CLIENT: BURIM ZUTA 1480 ALPS RD WAYNE, NJ 07470	DOB NOW BUILD JOB #: M00594657-11	
SEAL	DATE: 09/07/2021	PROJECT NO: 08681
	DRAWN BY: IA	CHECK BY: PTA
	A-101.00	
	SHEET 2 OF 6	



FIRST FLOOR APT #1RN
CONSTRUCTION PLAN

SCALE: $\frac{1}{8}" = 1'-0"$

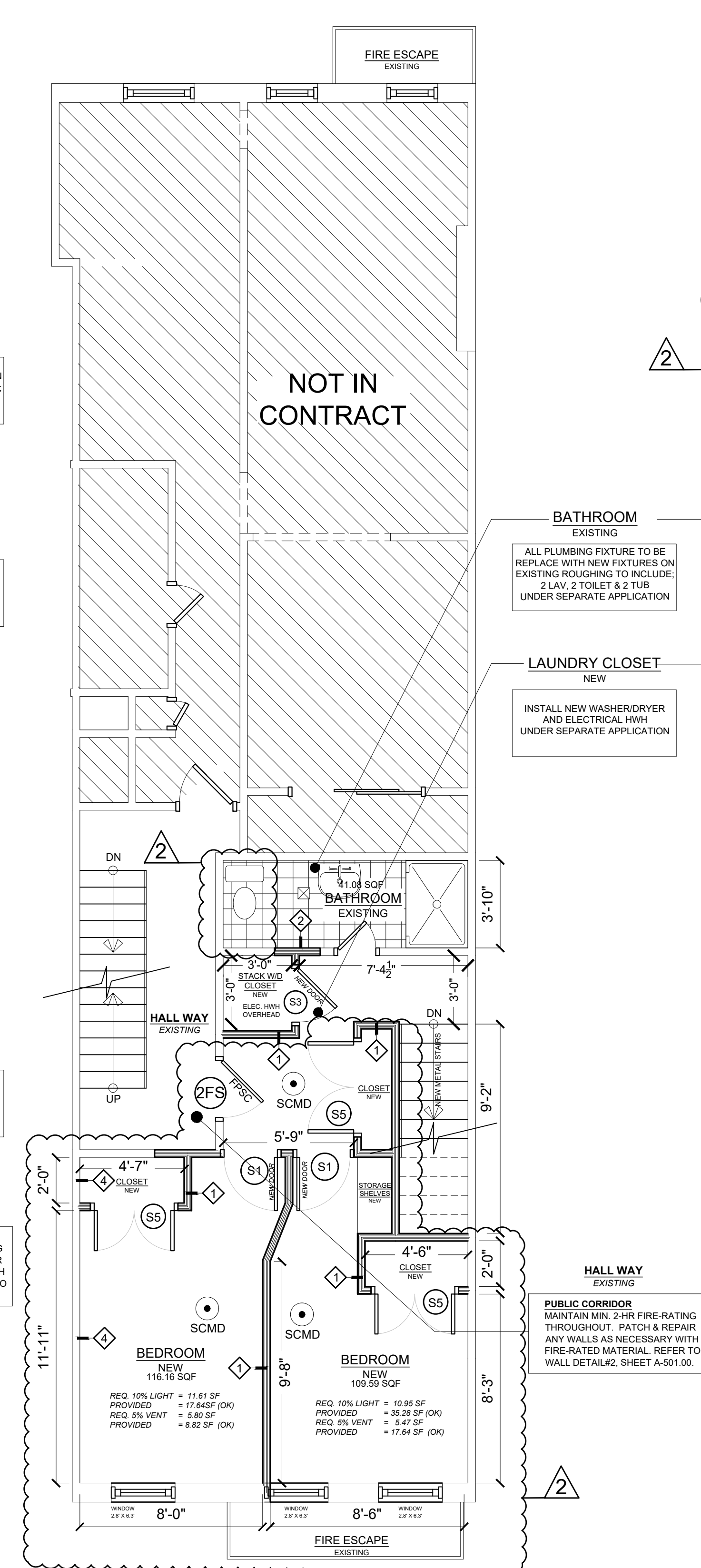
DOOR SCHEDULE										
TAG	DOOR STYLE	NOMINAL SIZE			GRADE	MATERIAL	COLOR	FIRE RATING (UL LISTED)	SELF CLOSING HINGE	REVERSE SWING HINGE
		WIDTH	HEIGHT	THICKNESS						
1	SINGLE SWING DOOR	2'-6"	6'-8"	1 3/4"	INTERIOR	WOOD OR COMPOSITE	PER OWNER	-	NO	-
2	SINGLE SWING DOOR	2'-0"	6'-8"	1 3/4"	INTERIOR	WOOD OR COMPOSITE	PER OWNER	-	NO	-
3	SINGLE POCKET DOOR	2'-8"	6'-8"	1 3/4"	INTERIOR	WOOD OR COMPOSITE	PER OWNER	-	NO	-
4	DOUBLE SLIDING DOOR	4'-0"	7'-0"	1 3/4"	INTERIOR	WOOD OR COMPOSITE	PER OWNER	-	-	-
5	DOUBLE DOOR	4'-0"	7'-0"	1 3/4"	INTERIOR	WOOD OR COMPOSITE	PER OWNER	-	-	-

*NOTE(1): ANY DOORS INDICATED WITH "P.S.C." ON PLANS **MUST** BE A MINIMUM 1.5 HR (90 MIN.) U.L. APPROVED FIRE-RATED STEEL DOOR WITH A SELF-CLOSING HINGE OR CLOSER INSTALLATION AND TAILED INCLUDE PRE-INSTALLED LABEL ON DOOR. COLOR AS PER OWNER SPECIFICATIONS.

*NOTE(2): ALL APARTMENT ENTRY DOORS TO BE P.S.C. (SEE NOTE 1) AND EQUIPPED WITH PEEP HOLE AND CHAIN. APT# TO BE LABELED ON CORRIDOR FACE OF DOOR. COLOR AS PER OWNER SPECIFICATIONS.

*NOTE (3): PROVIDE NEW HARDWARE ON ALL DOORS AS PER OWNER SPECIFICATIONS. ALL HARDWARE TO BE INSTALLED BETWEEN 34" TO 48" A.F.F. TO MEET ADA REQUIREMENTS. OPERABLE PARTS SHALL BE USABLE WITH ONE HAND AND SHALL NOT EXCEED FORCE OF 5 POUNDS. REFER TO HARDWARE DETAILS.

*NOTE(4): U.L. (UL) OR ANI FINISHES NON-RATED INTERIOR DOORS, AS PER OWNER SPECIFICATIONS.



SECOND FLOOR APT #2FS
CONSTRUCTION PLAN

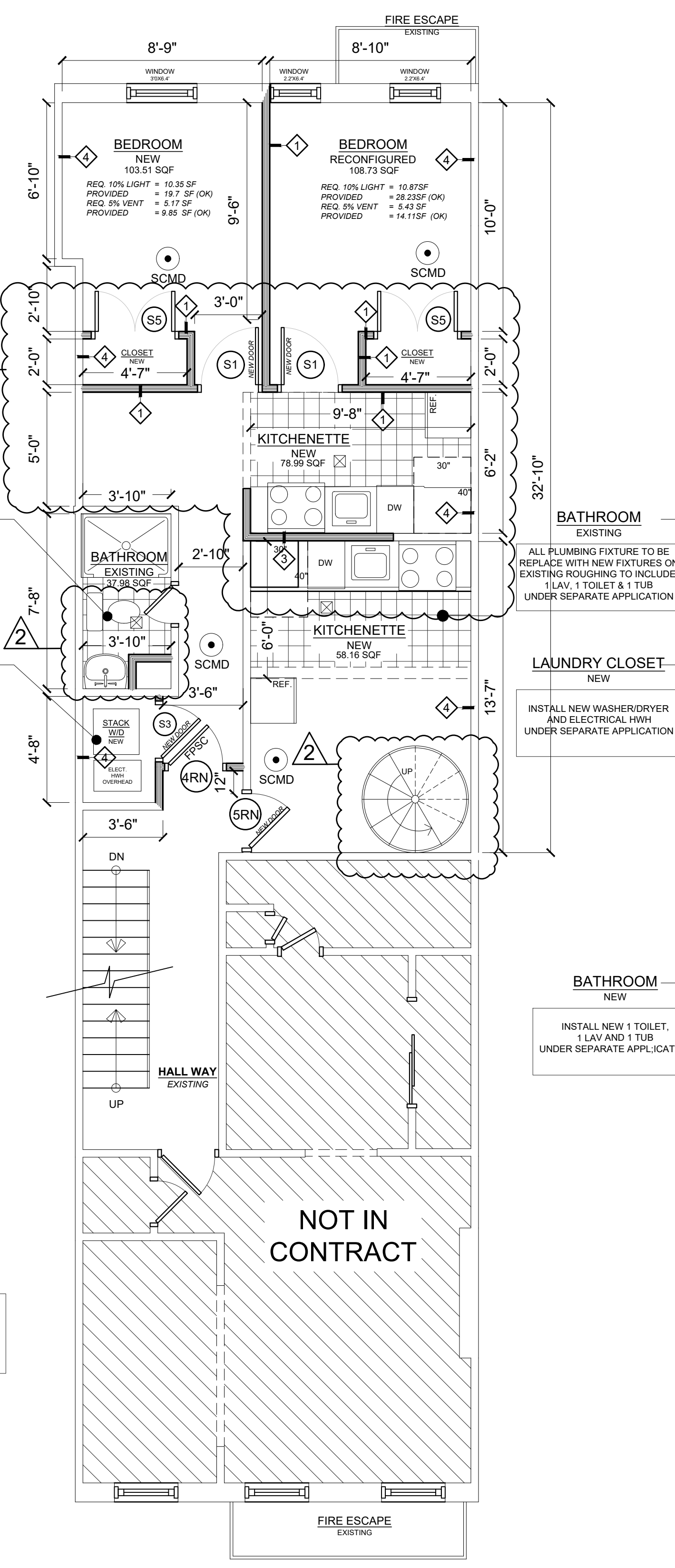
SCALE: $\frac{1}{8}" = 1'-0"$

*NOTE ON LOCATION OF EXHAUST OUTLETS:
AS PER NYC MECHANICAL CODE 201.2 (B), IN OCCUPANCY GROUP R-2, ALL KITCHEN/BATH EXHAUST FANS SHALL SATISFY THE FOLLOWING REQUIREMENTS. CONTRACTOR SHALL NOTIFY ARCHITECT IF UNABLE TO MEET ANY OF THESE REQUIREMENTS:

- 6.1. THE EXHAUST SYSTEM FOR THE KITCHEN AND TOILET/BATHS MAY BE COMBINED TO THE INLET OF A CONTINUOUSLY OPERATED SINGLE FAN PROVIDED SUCH EXHAUST SYSTEM SERVES ONLY ONE DWELLING UNIT.
- 6.2. THE DEDICATED EXHAUST FAN FROM EACH DWELLING UNIT SHALL TERMINATE AT LEAST:
 - 6.2.1. TWO (2) FEET FROM ANY OPERATIONAL WINDOW OR DOOR SERVING THE SAME DWELLING UNIT.
 - 6.2.2. THREE (3) FEET FROM ANY OPERATIONAL WINDOW OR DOOR SERVING AN ADJOINING DWELLING UNIT.
 - 6.2.3. THREE (3) FEET FROM ANY OPERATIONAL WINDOW OR DOOR SERVING ANOTHER OCCUPANCY GROUP IN THE SAME BUILDING.
 - 6.2.4. TEN (10) FEET FROM ANY OUTDOOR AIR INTAKE OPENING.
 - 6.2.5. TEN (10) FEET ABOVE THE PUBLIC SIDEWALK ADJOINING THE SAME BUILDING.
 - 6.2.6. ALL OTHER MINIMUM DISTANCES PRESCRIBED IN ITEMS 1 THROUGH 5 OF MC 901.2.1 SHALL BE SATISFIED.

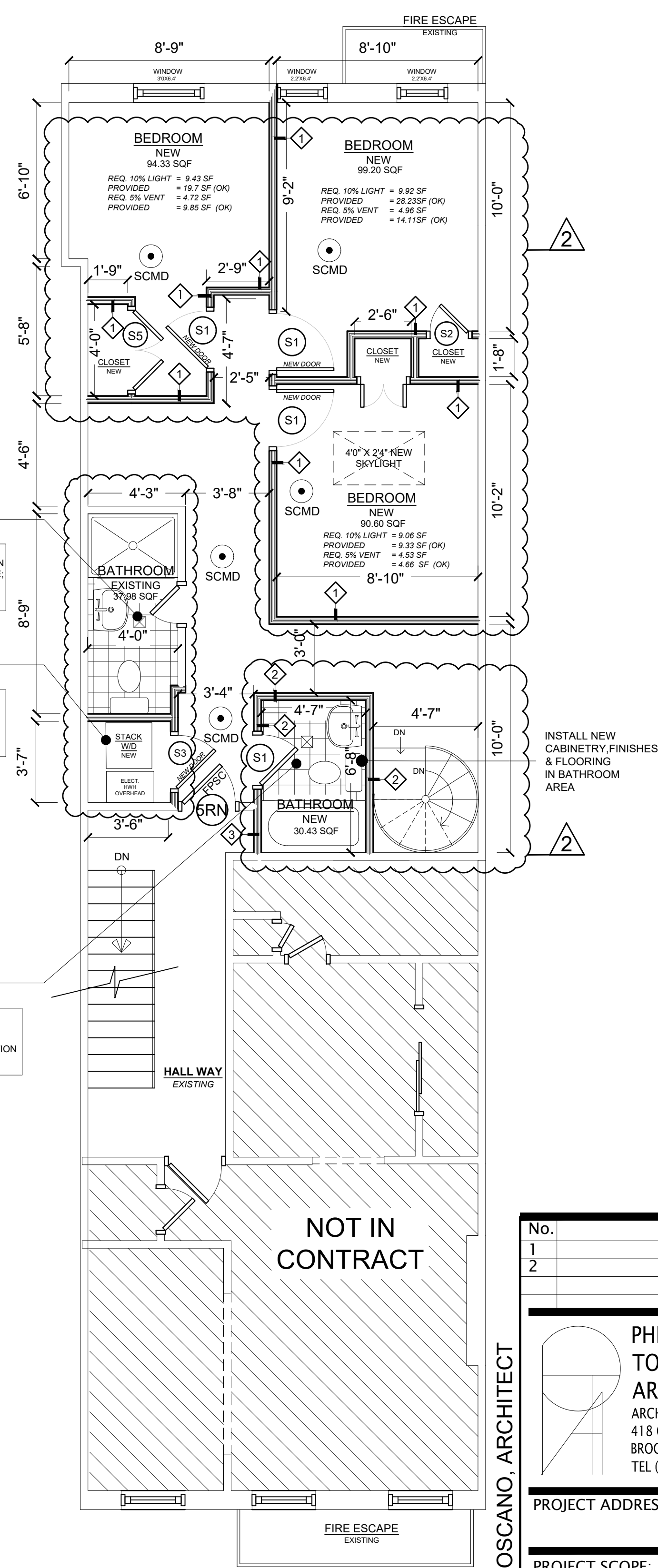
*NOTE ON DAMPERS FOR EXHAUST OUTLETS:
AS PER THE NYC ENERGY CONSERVATION CODE, ALL INTAKE AND EXHAUST OPENINGS TO BE PROVIDED WITH DAMPERS AS PER THE FOLLOWING:

- C402.5.5 AIR INTAKES, EXHAUST OPENINGS, STAIRWAYS, AND SHAFTS. STAIRWAY ENCLOSURES, ELEVATOR SHAFT VENTS, AND OTHER OUTDOOR AIR INTAKES AND EXHAUST OPENINGS INTEGRAL TO THE BUILDING ENVELOPE SHALL BE PROVIDED WITH DAMPERS IN ACCORDANCE WITH SECTION C403.7.7.
- C403.7.7. (EXCEPTION) SHUTOFF DAMPERS, NONMOTORIZED GRAVITY DAMPERS SHALL BE AN ALTERNATIVE TO MOTORIZED DAMPERS FOR EXHAUST AND RELIEF OPENINGS IN ANY OF THE FOLLOWING CONDITIONS:
1. IN BUILDINGS LESS THAN THREE STORIES IN HEIGHT ABOVE GRADE PLANE.
 2. IN BUILDINGS OF ANY HEIGHT LOCATED IN CLIMATE ZONES 1, 2, OR 3.
 3. WHERE THE DESIGN EXHAUST CAPACITY IS NOT GREATER THAN 300 CFM.
- NON-MOTORIZED GRAVITY DAMPERS SHALL HAVE AN AIR LEAKAGE RATE NOT GREATER THAN 20 CMPSF WHERE NOT LESS THAN 24 INCHES IN EITHER DIMENSION AND 40 CMPSF WHERE LESS THAN 24 INCHES IN EITHER DIMENSION. THE RATE OF AIR LEAKAGE SHALL BE DETERMINED AT 1.0 INCH WATER GAUGE WHEN TESTED IN ACCORDANCE WITH AMCA 5000 FOR SUCH PURPOSE. THE DAMPERS SHALL BE LABELED BY AN APPROVED AGENCY.



FOURTH FLOOR, APT #4RN
CONSTRUCTION PLAN

SCALE: $\frac{1}{8}" = 1'-0"$



FIFTH FLOOR, APT #5RN
CONSTRUCTION PLAN

SCALE: $\frac{1}{8}" = 1'-0"$

SYMBOL LEGEND	
SECTION SYMBOL =	DRAWING NUMBER PAGE NUMBER
DETAIL SYMBOL =	DRAWING NUMBER PAGE NUMBER
PARTITION SYMBOL =	WALL TYPE, SEE WALL DETAILS
DOOR SYMBOL =	DOOR NUMBER, SEE DOOR SCHEDULE
WINDOW SYMBOL =	WINDOW NUMBER, SEE WINDOW ASSEMBLY DETAILS

DRAWING LEGEND	
---	- PARTITION TO BE REMOVED
---	- NEW WALL - REFER TO WALL TAG DETAILS
---	- EXISTING DOOR TO BE REMOVED
---	- SINGLE-SWING DOOR (SEE DOOR TAG FOR NEW DOORS)
---	- DOUBLE-SWING DOOR (SEE DOOR TAG FOR NEW DOORS)
---	- FIRE-PROOF SELF-CLOSING DOOR (HR. RATING AS INDICATED ON DOOR TAG)
---	- WINDOW: DOUBLE-HUNG TYPE
---	- RADIATOR
---	- NEW PARQUET FLOOR
---	- NEW TILE FLOOR
---	- 75 CFM EXHAUST VENT TO EXTERIOR FAN SHALL BE CONTROLLED WITH A WALL-MOUNTED SWITCH AND SHALL COME WITH A MANUFACTURER PROVIDED BACKDRAFT DAMPER AND EXHAUST GRILLE.
---	- SMOKE / CARBON MONOXIDE DETECTOR (INTER-CONNECTED AS PER BC 907.2.10.3)
---	- DIMENSION LINE

No.	REVISIONS	Date:
1	DESIGN CHANGES	10/08/21
2	AS BUILT CHANGES	03/30/22

<p>PHILIP TOSCANO ARCHITECTS ARCHITECTURE • PLANNING 418 GRAHAM AVENUE BROOKLYN, N.Y. 11211 TEL (718) 349-3350 FAX (718) 349-3479</p>	
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PROJECT ADDRESS:	331 EAST 52ND STREET
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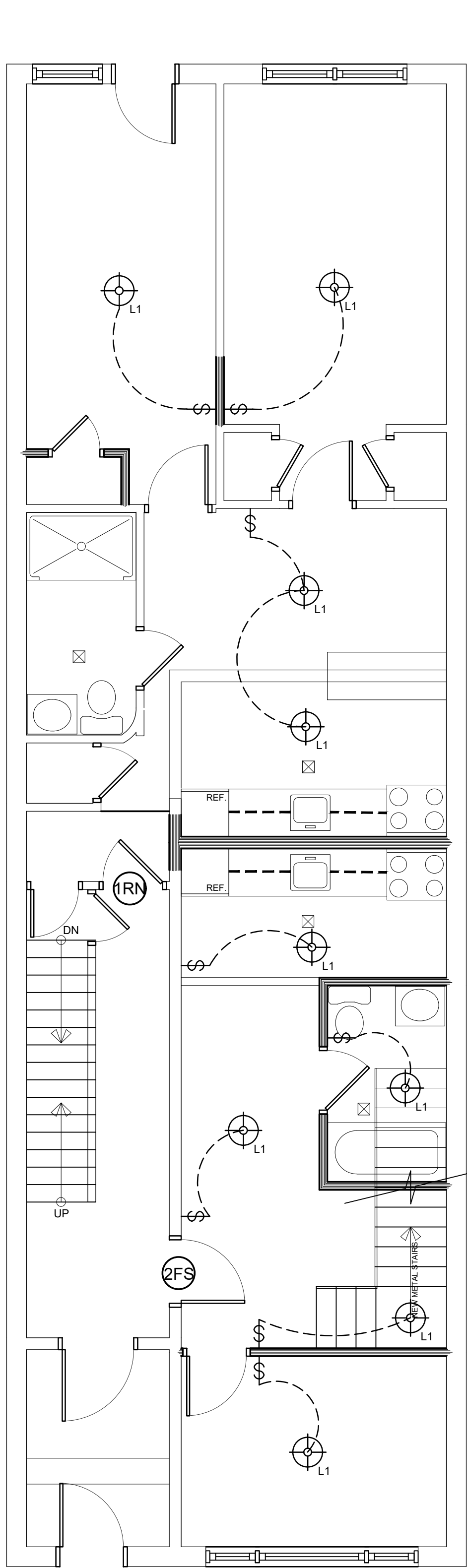
PROJECT SCOPE:	INTERIOR APARTMENT RENOVATIONS: #1R #2F, #4R 5R. DEMOLITION WORK, NEW INTERIOR PARTITIONS AND NEW FINISHES. NO CHANGE TO USE, EGRESS OR OCCUPANCY
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SHEET TITLE:	CONSTRUCTION PLANS
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CLIENT: BURIM ZUTA 1480 ALPS RD WAYNE, NJ 07470	DOB NOW BUILD JOB #: M00594657-11
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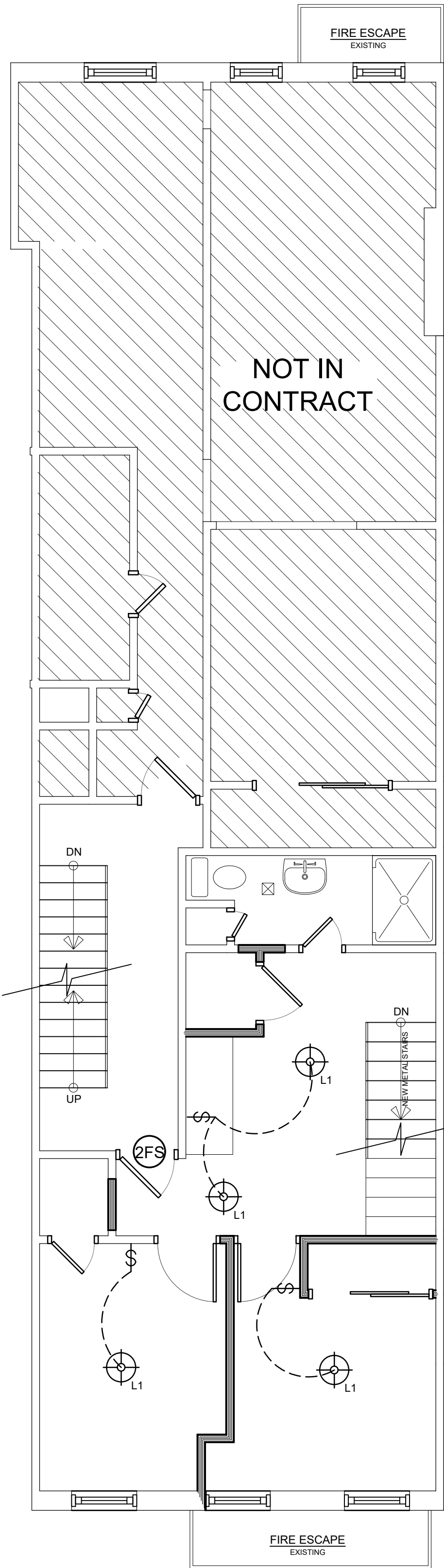
<p>DATE: 03/31/2022</p>	<p>DATE: 09/07/2021</p> <p>PROJECT NO: 08681</p> <p>DRAWN BY: IA</p> <p>CHECK BY: PTA</p> <p>A-101.02</p> <p>SHEET 3 OF 6</p>
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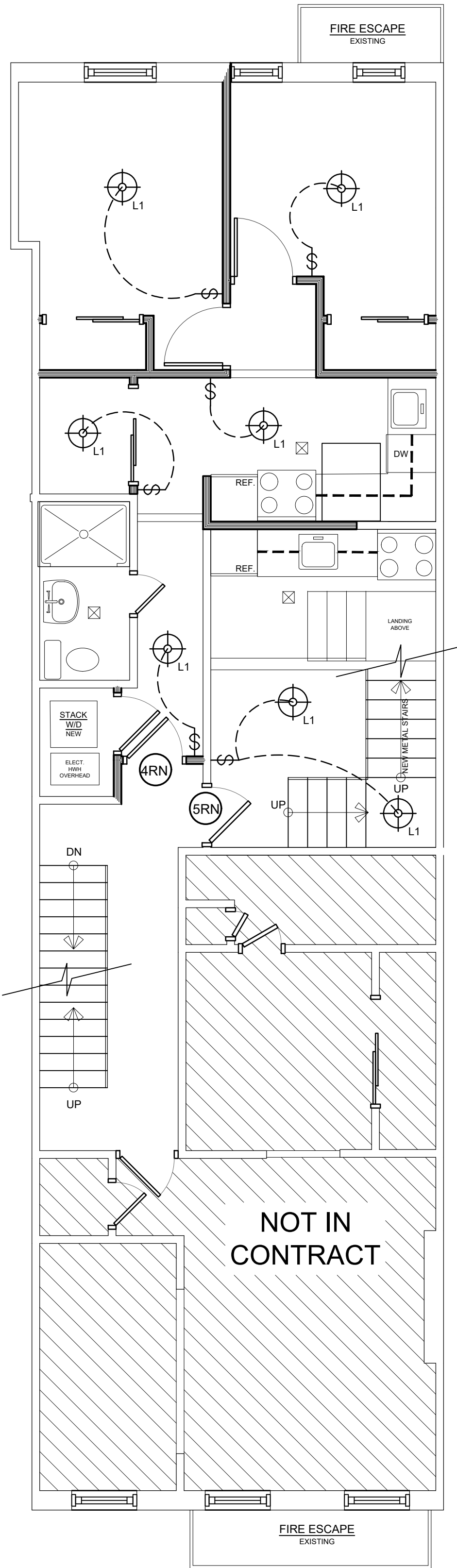
FIRST FLOOR APT#1RN PROPOSED PLAN

SCALE : $\frac{3}{16}" = 1'-0"$



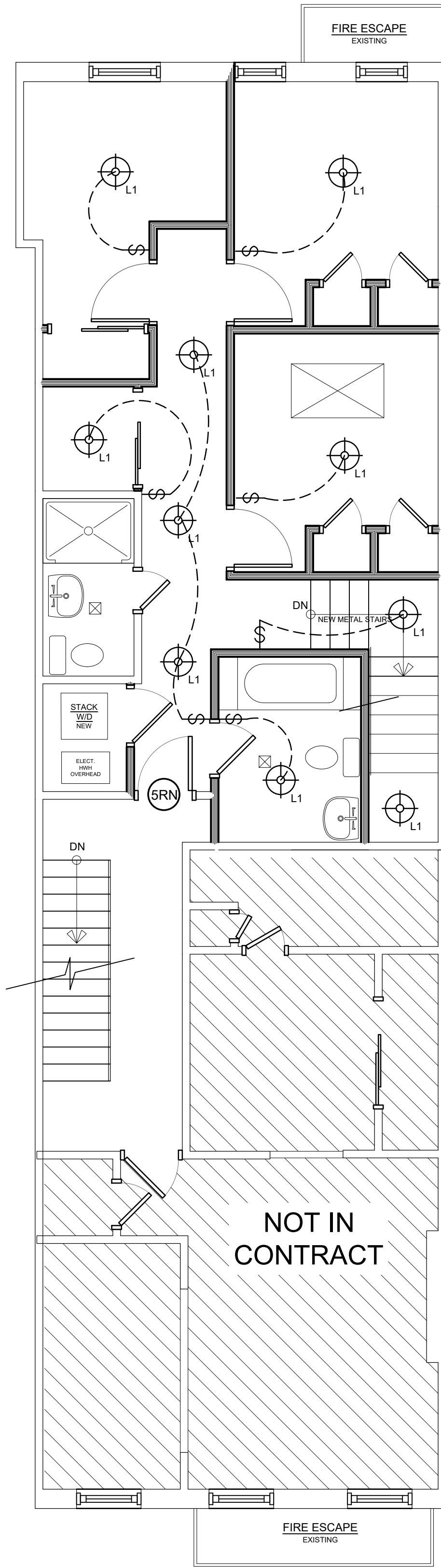
APT#2FS 2ND FLOOR PROPOSED PLAN

SCALE : $\frac{3}{16}" = 1'-0"$



APT#4RN 4TH FLOOR PROPOSED PLAN

SCALE : $\frac{3}{16}" = 1'-0"$



APT#5RN 5TH FLOOR PROPOSED PLAN

SCALE : $\frac{3}{16}" = 1'-0"$

LIGHTING FIXTURE SCHEDULE				
TYPE	SYMBOL	DESCRIPTION	WATTAGE & LAMP TYPE	CONTROLS
---	---	LINE OF DROPPED CEILING (SOFFIT)	-----	---
L1		SURFACE MOUNTED LIGHT FIXTURE (Make / Model as per owner specifications)	PROVIDE: 1600 LUMENS MIN. / 20 WATTS MAX = 80 80 > 85 LPW (OR)	*CONTROLS ONLY AS INDICATED ON PLAN*
L2		LED STRIP - CONTINUOUS LIGHT PROVIDED UNDER UPPER KITCHEN CABINETS	PROVIDE: 420 LUMENS MIN. / 4 WATTS MAX = 105 105 > 85 LPW (OR)	*CONTROLS ONLY AS INDICATED ON PLAN*
---		ELECTRIC SWITCH (INSTALLED 48" A.F.F. MAX.)	N / A	N / A

*ALL SWITCHES & OUTLETS, INCLUDING ANY JUNCTION BOXES AND ELECTRICAL PANELS TO BE INSTALLED BY LICENSED ELECTRICIAN AS PER CODE.

*ELECTRICIAN SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

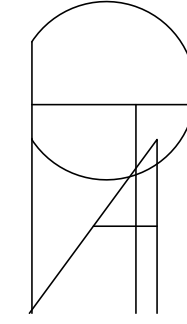
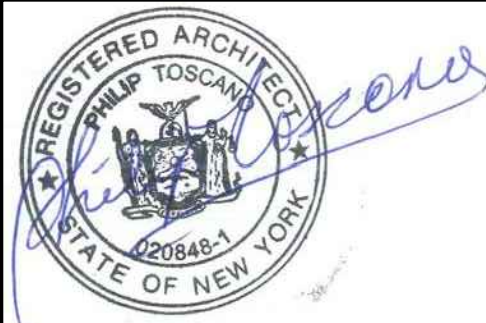
*ALL NON-DEDICATED RECEPTACLES TO BE INSTALLED BETWEEN 15" MIN. AND 48" MAX. ABOVE FINISHED FLOOR (A.F.F.).

*ALL FIXTURES TO BE UL RATED, DESIGN AS PER OWNER SPECIFICATIONS.

*ALL FIXTURES INSTALLED IN KITCHENS & BATHROOMS TO BE RATED FOR USE IN WET AREAS.

MINIMUM OF 90% OF ALL LAMPS TO BE HIGH EFFICACY AS PER 2020 NYCCEC SECTION C405.1 (EXCEPTION); DWELLING UNITS WITHIN MULTIFAMILY BUILDINGS SHALL COMPLY WITH SECTION R404.1 OR WITH SECTIONS C405.2.4 AND C405.3 SECTION R404.1; NOT LESS THAN 90 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL USE LAMPS WITH AN EFFICACY OF AT LEAST 65 LUMENS PER WATT, OR HAVE A TOTAL LUMINAIRE EFFICACY OF AT LEAST 45 LUMENS PER WATT.

PROPOSED: ALL LAMPS TO BE LED HIGH EFFICACY LAMPS WITH 65 LUMENS MIN. PER WATT AS NOTED ON ABOVE LIGHTING FIXTURE SCHEDULE.

No.	REVISIONS	Date:
<div><div><div><div>PHILIP TOSCANO ARCHITECTS</div><div>ARCHITECTURE • PLANNING</div><div>418 GRAHAM AVENUE</div><div>BROOKLYN, N.Y. 11211</div><div>TEL (718) 349-3350 FAX (718) 349-3879</div></div><div><div>NYC Buildings</div><div>ACCEPTED</div><div>Date: 10/04/2021</div></div></div></div>		
PROJECT ADDRESS: 331 EAST52ND STREET		
PROJECT SCOPE: INTERIOR APARTMENT RENOVATIONS: #1R #2F, #4R 5R. DEMOLITION WORK, NEW INTERIOR PARTITIONS AND NEW FINISHES. NO CHANGE TO USE, EGRESS OR OCCUPANCY		
SHEET TITLE: PROPOSED FLOOR PLANS: #1RN, #2FS, #4RN #5RN		
CLIENT: BURIM ZUTA 1480 ALPS RD WAYNE, NJ 07470	DOB NOW BUILD JOB #: M00594657-11	
SEAL	DATE:	09/07/2021
	PROJECT NO:	08681
	DRAWN BY:	IA
	CHECK BY:	PTA
A-102.00		
SHEET 4 OF 6		

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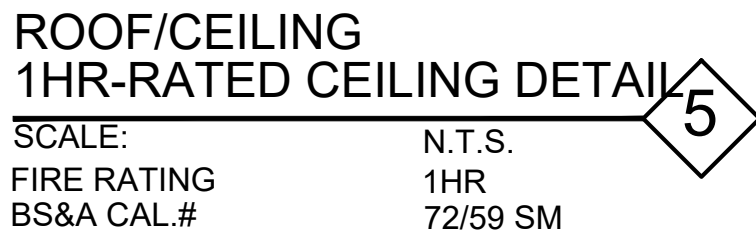
DOOR SCHEDULE											
TAG	DOOR STYLE	NOMINAL SIZE			GRADE	MATERIAL	COLOR	FIRE RATING (UL LISTED)	SELF CLOSING HINGE	REVERSE SWING HINGE	"REMARKS" Refer to Air Notes Below For Additional Information On All Listed Door Types
		WIDTH	HEIGHT	THICKNESS							
51	SINGLE SWING DOOR	2' - 6"	6' - 8"	1 1/4"	INTERIOR	WOOD OR COMPOSITE	PER OWNER	-	NO	-	
52	SINGLE SWING DOOR	2' - 0"	6' - 8"	1 1/4"	INTERIOR	WOOD OR COMPOSITE	PER OWNER	-	NO	-	
53	SINGLE POCKET DOOR	2' - 8"	6' - 8"	1 1/4"	INTERIOR	WOOD OR COMPOSITE	PER OWNER	-	NO	-	
54	DOUBLE-SLIDING DOOR	4' - 0"	7' - 0"	1 1/4"	INTERIOR	WOOD OR COMPOSITE	PER OWNER	-	-	-	

*NOTE(1): ANY DOORS INDICATED WITH "F.P.S.C." ON PLANS ***MUST*** BE A MINIMUM 1.5 HR (90 MIN.) U.L. APPROVED FIRE-RATED STEEL DOOR WITH A SELF-CLOSING HINGE OR CLOSER INSTALLATION AND MUST INCLUDE PRE-INSTALLED LABEL ON DOOR. COLOR AS PER OWNER SPECIFICATIONS.

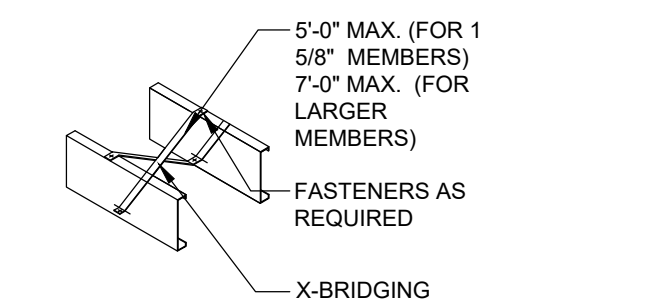
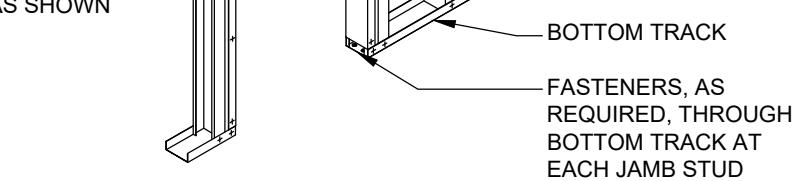
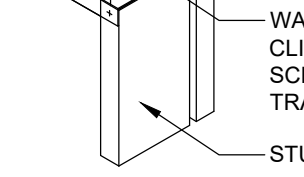
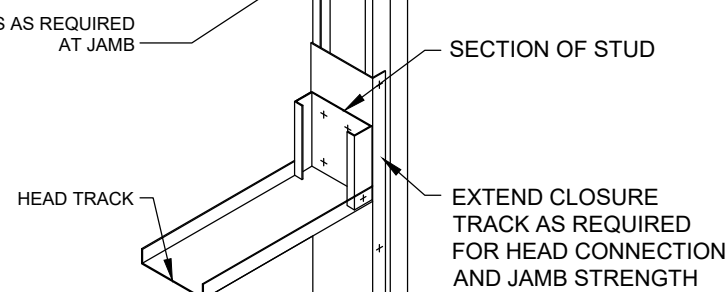
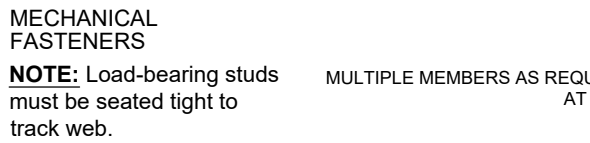
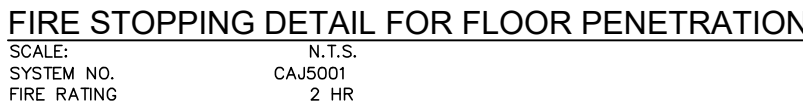
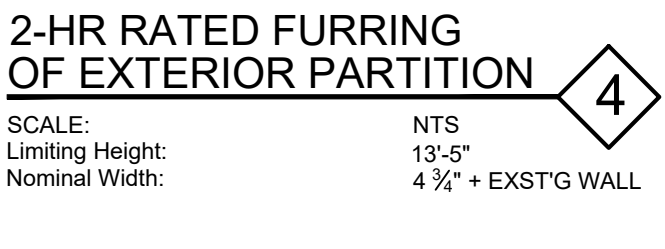
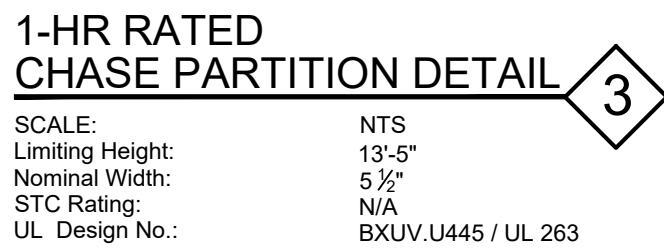
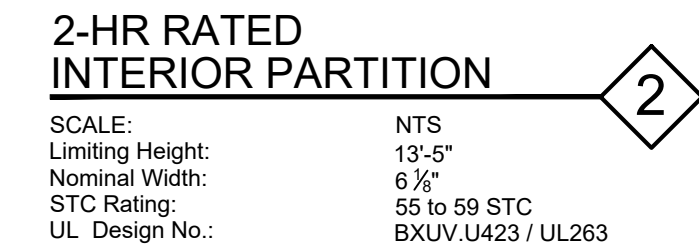
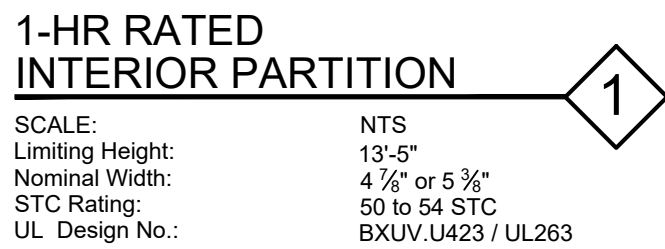
*NOTE(2): ALL APARTMENT ENTRY DOORS TO BE F.P.S.C. (SEE NOTE 1) AND EQUIPPED WITH PEEP HOLE AND CHAIN. APT# TO BE LABELED ON CORRIDOR FACE OF DOOR. COLOR AS PER OWNER SPECIFICATIONS.

*NOTE (3): PROVIDE NEW HARDWARE ON ALL DOORS AS PER OWNER SPECIFICATIONS. ALL HARDWARE TO BE INSTALLED BETWEEN 34" TO 48" A.F.F. TO MEET ADA REQUIREMENTS. OPERABLE PARTS SHALL BE USEABLE WITH ONE HAND AND SHALL NOT EXCEED FORCE OF 5 POUNDS. REFER TO HARDWARE DETAILS.

*NOTE (4): COLOR AND FINISH OF NON-RATED INTERIOR DOORS AS PER OWNER SPECIFICATIONS.



SCALE: N.T.S.

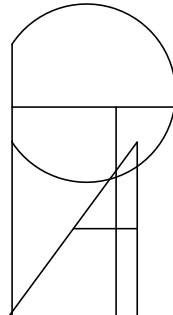

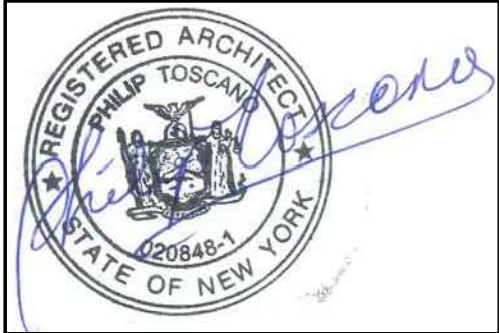


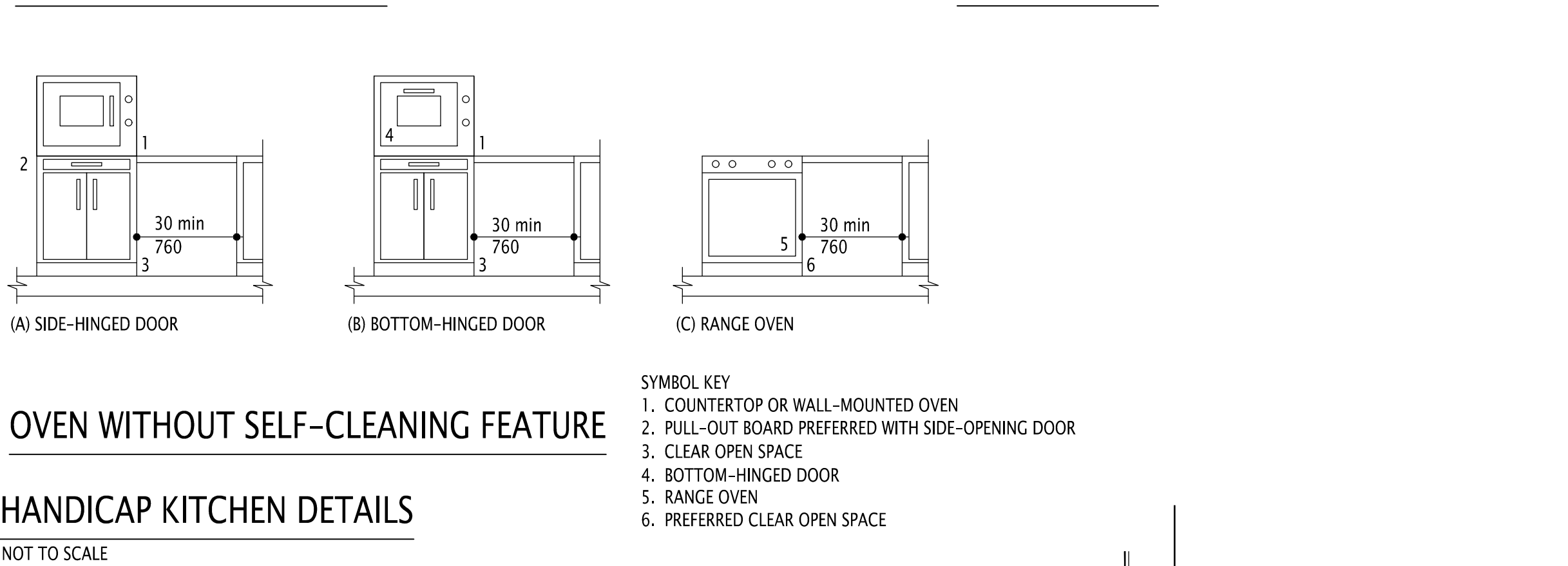
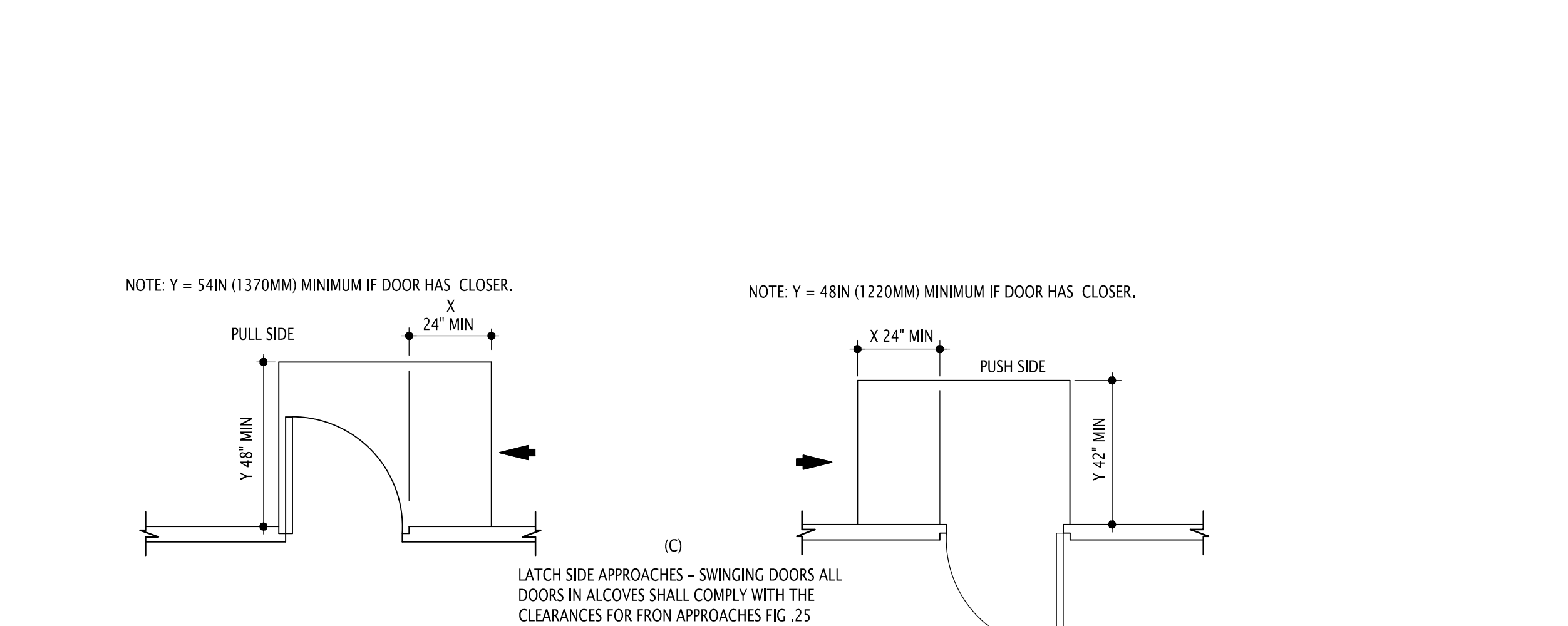
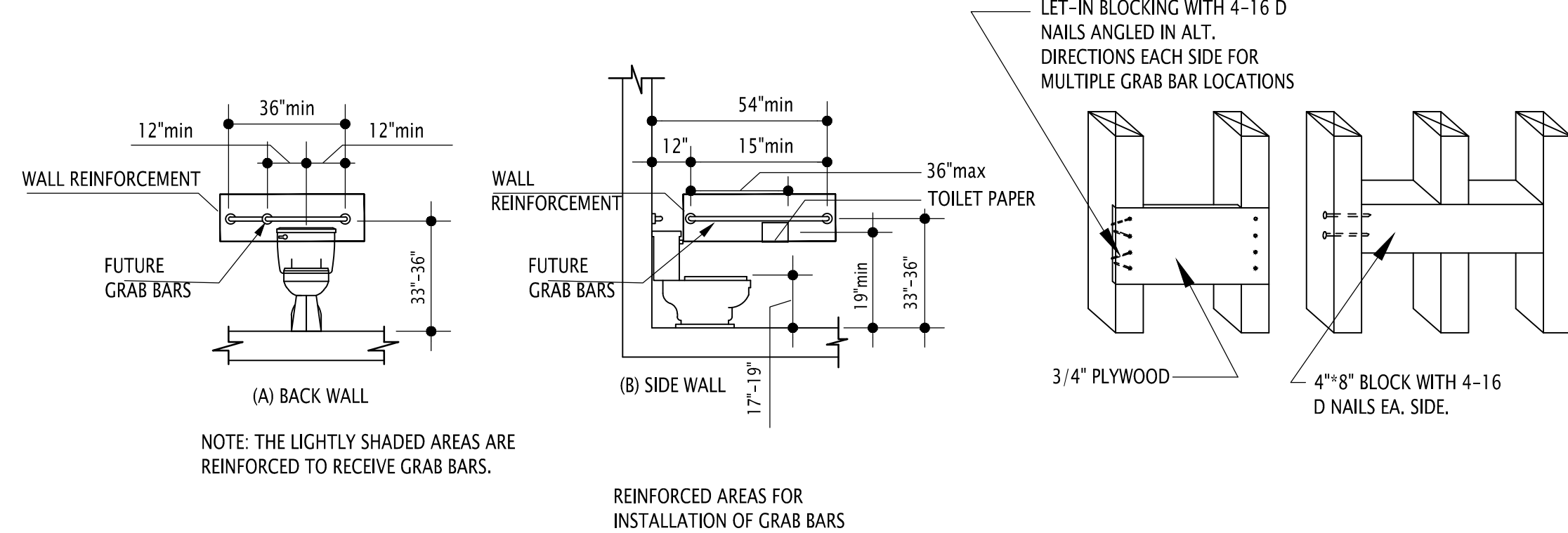
- CLIMATE ZONE 4A
- COMMERCIAL ENERGY EFFICIENCY, CHAPTER C4, 2020 NYCECC
- SCOPE OF WORK: MISC. INTERIOR RENOVATION IN APT#1, 1ST FLOOR, 2F, 2ND FLOOR, 4R, 4TH FLOOR AND 5R, 5TH FLOOR
PLUMBING WORK TO BE FILED UNDER SEPARATE APPLICATION . NO CHANGE TO USE, EGRESS OR OCCUPANCY

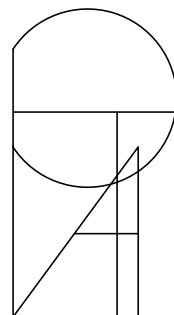

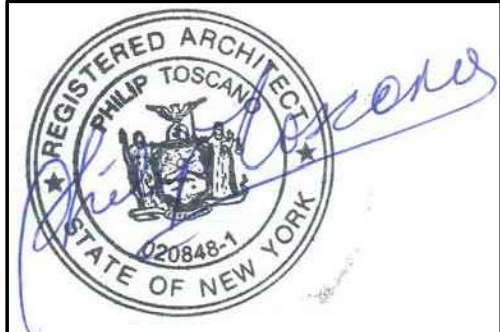
ITEM DESCRIPTION	PROPOSED DESIGN VALUE	CODE PRESCRIBED VALUE AND CITATION	SUPPORTING DOCUMENTATION
INSTALL NEW INTERIOR PARTITION(S)	(NOT APPLICABLE)	(NOT APPLICABLE)	-----
INSTALL NEW INTERIOR DOOR(S)	(NOT APPLICABLE)	(NOT APPLICABLE)	-----
NEW TILES IN KITCHEN & BATHROOM AREAS	(NOT APPLICABLE)	(NOT APPLICABLE)	-----
INSTALL NEW FLOORING	(NOT APPLICABLE)	(NOT APPLICABLE)	-----

INSULATION AT EXTERIOR WALLS (MASS)	R-13.25ci MIN. VALUE (MASS) TO BE PROVIDED	2020 NYCECC: (TABLE C402.1.3) WALLS ABOVE GRADE = (MASS) R=13.25 CONTINUOUS INSULATION REQUIRED AT WOOD FRAMED WALLS (OK)	PROVIDED ON WALL TAG-4 REFER TO SHEET A-501.00
LIGHTING IN DWELLING UNITS	90% MIN. OF ALL LIGHT FIXTURES TO USE HIGH-EFFICACY LAMPS	2020 NYCECC: (SECTION C405.1) (SECTION R404.1) LIGHTING WITHIN DWELLING UNITS DWELLING UNITS WITHIN COMMERCIAL BUILDINGS SHALL NOT BE REQUIRED TO COMPLY WITH SECTIONS C405.2 - C405.5 PROVIDED THAT THEY COMPLY WITH SECTION R404.1 REQUIRING 90% OF ALL LIGHT FIXTURES TO BE HIGH EFFICACY LAMPS.	NOTE ON REFLECTED CEILING PLAN & LIGHTING LEGEND REFER TO SHEET A-103.00, AND A-104.00
RECESSED LIGHTING	RECESSED LIGHT FIXTURES IN BUILDING THERMAL ENVELOPE TO BE IC-RATED AND AIR-SEALED.	2020 NYCECC: (SECTION C402.5.8) ALL RECESSED LUMINARIES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT MORE THAN 2.0 CFM WHEN TESTED IN ACCORDANCE WITH ASTM E 283 AT A 1.57 PSF PRESSURE DIFFERENTIAL. ALL RECESSED LUMINARIES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND INTERIOR WALL OR CEILING COVERING.	NOTE ON REFLECTED CEILING PLAN & LIGHTING LEGEND REFER TO SHEET A-102.00
ROOF	R-53 MIN. VALUE TO BE PROVIDED	R-53 (TABLE C402.1.3 EXISTING CEILING / ROOF ASSEMBLIES AND ATTIC SPACES)	REFER TO SHEET A-501.00 DETAIL-6

NOTE:
TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH COMMERCIAL CHAPTER C4 OF THE 2020 NYC ENERGY CONSERVATION CODE (NYCECC).

No.	REVISIONS	Date:
<hr/>		
	<p>PHILIP TOSCANO ARCHITECTS ARCHITECTURE • PLANNING 418 GRAHAM AVENUE BROOKLYN, N.Y. 11211 TEL (718) 349-3350 FAX (718) 349-3479</p>	<div><p>Date: 10/04/2021</p></div>
<hr/>		
PROJECT ADDRESS: 331 EAST52ND STREET		
<hr/>		
PROJECT SCOPE: INTERIOR APARTMENT RENOVATIONS: #1R #2F, #4R 5R. DEMOLITION WORK, NEW INTERIOR PARTITIONS AND NEW FINISHES. NO CHANGE TO USE , EGRESS OR OCCUPANCY		
<hr/>		
SHEET TITLE: DETAILS		
<hr/>		
CLIENT: BURIM ZUTA 1480 ALPS RD WAYNE, NJ 07470	DOB NOW BUILD JOB #: M00594657-I1	
<hr/>		
SEAL	DATE: 09/07/2021	PROJECT NO: 08681
	DRAWN BY: IA	CHECK BY: PTA
	A-500.00	
	SHEET 5 OF 6	



No.	REVISIONS	Date:
 <p>PHILIP TOSCANO ARCHITECTS ARCHITECTURE • PLANNING 418 GRAHAM AVENUE BROOKLYN, N.Y. 11211 TEL (718) 349-3350 FAX (718) 349-3479</p>		 <p>NYC Buildings ACCEPTED Date: 10/04/2021</p>
PROJECT ADDRESS: 331 EAST52ND STREET		
PROJECT SCOPE: INTERIOR APARTMENT REVISIONS: #1R #2F, #4R 5R, DEMOLITION WORK, NEW INTERIOR PARTITIONS AND NEW FINISHES. NO CHANGE TO USE, EGRESS OR OCCUPANCY		
PROJECT TITLE:		
HANDICAP ADAPTABLE DETAILS		
CLIENT: BURIM ZUTA 1480 ALPS RD WAYNE, NJ 07470	DOB NOW BUILD JOB #: M00594657-I1	
SEAL 	DATE: 09/07/2021 PROJECT NO: 08681 DRAWN BY: IA CHECK BY: PTA	
A-501.00		
SHEET 6 OF 6		

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