GENERAL NOTES (2014):	MULTIPLE DWELLING LAW NOTES:			
1. WORK SHALL BE EXECUTED IN FULL COMPLIANCE WITH THE APPLICABLE PROVISIONS OF ALL LAWS, BY-LAWS, STATUTES, ORDINANCES, CODES, RULES, REGULATIONS AND LAWFUL ORDERS OF PUBLIC AUTHORITIES BEARING ON THE PERFORMANCE AND EXECUTION OF THE WORK. WORK SHALL BE IN CONFORMANCE WITH THE 2014 CONSTRUCTION CODE. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE AUTHORITY OF ANY PORTIONS OF THE WORK IN THE CONTRACT	1. COOKING SPACES TO BE IN COMPLIANCE WITH MDL SECTION 33 AND HMC SECTIONS D26 32.01, 32.03 AND 32.05 . CEILINGS AND WALLS OF KITCHENETTES SHALL BE FIRE RETARDED WITH 5/8" TYPE "X" GYPSUM BOARD. COMBUSTIBLE MATERIALS ADJOINING AND LESS THAN 1 FOOT AWAY FROM ANY COOKING APPLIANCE WILL BE FIRE RETARDED WITH 5/8" TYPE "X" GYPSUM BOARD. KITCHENS AND KITCHENETTES SHALL BE VENTILATED BY A LAWFUL WINDOW. ARTIFICIAL			
 DOCUMENTS THAT ARE AT VARIANCE WITH THE ABOVE. 2. THE CONTRACTOR SHALL CONSTRUCT STREETS AND STREET CURBING IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE BUREAU OF HIGHWAYS FOR THE BOROUGH IN WHICH THIS CONTRACT IS TO BE EXECUTED. 	 LIGHTING SHALL BE PROVIDED. INTERIOR KITCHENETTE SHALL BE MECHANICALLY VENTILATED. 2. ENTRANCE DOORS AND LIGHTS SHALL BE IN ACCORDANCE WITH MDL SEC. 35 WITH MIN. 5 SF WIRE GLASS. TWO ELECTRIC LIGHTS WILL BE PROVIDED. 3. ARTIFICIAL LIGHTING OF PUBLIC HALLS AND STAIRS SHALL COMPLY WITH MDL SEC. 37-1. 			
 ALL MATERIALS, ASSEMBLIES, FORMS OF CONSTRUCTION AND SERVICE EQUIPMENT REGULATED BY CODE SHALL MEET THE FOLLOWING REQUIREMENTS: 3.1. THEY SHALL HAVE BEEN ACCEPTABLE PRIOR TO THE EFFECTIVE DATE OF THE CODE BY THE BOARD OF STANDARDS APPEALS OR MEA 3.2. THEY SHALL HAVE BEEN ACCEPTED FOR THE USE UNDER THE PRESCRIBED TEST 	 APARTMENT ENTRANCE SHALL BE PROVIDED WITH PEEPHOLES IN ACCORDANCE WITH MDL SEC. 51-a AND HMC D26-20.01 . DOORS SHALL BE 1-1/2 HR RATED FPSC AND SHALL BE PROVIDED WITH A KEY LOCK AND DOOR CHAIN GUARD AS PER HMC D26-0-05. (INCLUDING A HEAVY DUTY LOCKSET AND DEADBOLT) PORTABLE WATER SUPPLY SHALL BE IN ACCORDANCE WITH MDL SEC 75 AND HMC ART. 15. 			
METHODS BY THE COMMISSIONER (OR) 3.3. APPROVED BY THE OFFICE OF TECHNICAL RESEARCH (OTCR) 3.4. SHALL BE LISTED AND LABELED BY DOB RECOGNIZED AGENCY TO MEET REQUIRED STANDARDS	 FOR TABLE WATER SUPPLY SHALL BE IN ACCORDANCE WITH MIDL SEC 73 AND HMC ART. 13. ALL TOILET ROOMS SHALL HAVE TILED FLOORS AND 6" TILE BASE WITH PAINTED GYP. BD. WALLS AND CEILINGS. SIZE OF ROOMS SHALL BE IN ACC. WITH MDL SEC. 214 AND HMC D26-33.01a . LIGHTING AND VENTILATION OF ROOMS SHALL COMPLY WITH MDL SEC. 213 AND HMC D26-30.01 			
 4. MATERIALS OR ASSEMBLIES REQUIRED TO HAVE A FIRE RESISTANCE RATING SHALL COMPLY WITH ONE OF THE FOLLOWING: 4.1. THEY SHALL CONFORM WITH CHAPTER 7 OF THE 2008 NYC BUILDING CODE 4.2. THEY SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ASTM E119, STANDARD METHODS 	 10 D26-30.09 . 9. EGRESS SHALL BE PROVIDED FROM EACH APARTMENT IN ACCORDANCE WITH MDL SEC. 231 VIA A PUBLIC STAIR AND A FIRE ESCAPE. 10. ELECTRIC LIGHTING AND RECEPTACLES SHALL BE PROVIDED IN ACCORDANCE WITH ARTICLE 19 			
OF FIRE TESTS OF BUILDING CONSTRUCTION AND MATERIALS BY A NATIONALLY RECOGNIZED AGENCY 4.3. THEY SHALL HAVE BEEN ACCEPTABLE PRIOR TO THE EFFECTIVE DATE OF THE CODE 4.4. APPROVED BY OTCR	OF HMC RULES AND REGULATIONS AND ELECTRICAL CODE OF THE CITY OF NEW YORK. 11. THE OWNER OF THE MULTIPLE DWELLING SHALL SHALL INSTALL AND MAINTAIN A LIGHT OR LIGHTS AT OR NEAR THE OUTSIDE OF THE FRONT ENTRANCE OF BUILDING WHICH PROVIDES NOT LESS THAN 50W INCANDESCENT ILLUMINATION AS PER MDL SEC. 35.			
 ALL MASONRY UNITS AND MASONRY CONSTRUCTION SHALL CONFORM TO THE NYC BUILDING CODE CHAPTER 21 THE CONSTRUCTION CLASSIFICATION OF THE BUILDING IS AS LISTED ON PLAN. THE CONSTRUCTION ELEMENTS SHALL BE OF THE REQUIRED MINIMUM FIRE RESISTANCE RATINGS AS 	12. STAIR TO BE PROVIDED WITH A SKYLIGHT PROVIDED WITH VENTILATORS HAVING A MINIMUM OPENING OF 40 SQ. IN. OR WITH FIXED OR MOVABLE LOUVERS. SKYLIGHT SHALL BE GLAZED WITH PLAIN GLASS AND EQUIPPED WITH SUITABLE WIRE SCREENS. GLAZED AREA ABOVE AND BELOW SUCH SKYLIGHT SHALL BE AT LEAST 20 SF. AS PER MDL SECTION 36.			
 OUTLINED IN TABLE 601 AND DEFINED IN CHAPTER 6 OF THE NYC BUILDING CODE. ALLOWABLE HEIGHT AND BUILDING AREAS SHALL NOT EXCEED AS OUTLINED IN TABLE 503. 7. THE VARIOUS OCCUPANCIES REQUIRED TO BE SEPARATED FROM EACH OTHER BY FIRE SEPARATION SHALL BE IN ACCORDANCE WITH BC 508.4 AND TABLE 509 8. AN ACCURATE AND COMPLETE FINAL LOT SURVEY BY A DULY LICENSED SURVEYOR REQUIRED BY 	 OWNER SHALL PROVIDE LIGHT(S) AT LEAST 60 WATTS INCANDESCENT OR 20WATTS COOL WHITE FLUORESCENT FOR EVERY VESTIBULE AND ENTRANCE HALL IN EVERY PUBLIC HALL, STAIR AND EVERY FLOOR AS PER MDL 37. ENTRANCES TO EACH MULTIPLE DWELLING SHALL BE PROVIDED WITH ONE OR MORE 			
 AN ACCONTRETAND COMPLETE TIMAL EOF SORVET BY A DOET EICENSED SORVETOR REQUIRED BY SECTION 28-118.4 OF TITLE 28 OF THE ADMINISTRATIVE CODE SHALL BE FILED AS AN AMENDMENT BEFORE COMPLETION OF THE PROJECT, IF NECESSARY OR REQUIRED. THE CONTRACTOR'S LICENSED PROFESSIONAL IS RESPONSIBLE FOR FILING APPLICATION AND OBTAINING PERMITS FOR SCAFFOLDING, SIDEWALK BRIDGING, AND ANY OTHER CONSTRUCTION 	 AUTOMATIC SELF-LOCKING AND SELF-CLOSING MECHANISMS. SUCH DOORS SHALL BE LOCKED AT ALL TIMES AS PER MDL SEC 50a . 15. BOILER ROOM SHALL BE ENCLOSED WITH FIRE-PROOFED WALLS EXTENDING FROM FLOOR TO CEILING AND ALL DOORS AND ASSEMBLIES SHALL BE SELF-CLOSING AS PER MDL SEC. 65 . 16. THE OWNER SHALL PROVIDE PROPER APPLIANCES TO RECEIVE AND DISTRIBUTE AN ADEQUATE 			
EQUIPMENT OR PUBLIC PROTECTION REQUIRED TO ENSURE SAFETY OF OPERATION AND THE PUBLIC AS PER NYC CONSTRUCTION CODE, CHAPTER 33, SECTION BC 3307. THE CONTRACTOR IS ALSO RESPONSIBLE FOR OBTAINING LETTER OF COMPLETION. APPLICATION FOR CONSTRUCTION PERMITS SHALL BE PROCESSED THROUGH THE BUILDING CODE COMPLIANCE (BCC) DIVISION OF	 10. THE OWNER SHALL PROVIDE PROPER APPLIANCES TO RECEIVE AND DISTRIBUTE AN ADEQUATE SUPPLY OF WATER TO AND IN EVERY APARTMENT AT ALL TIMES OF THE YEAR DURING ALL HOURS AS PER MDL SEC. 75. 17. EVERY APARTMENT IN A CLASS "A" CONVERTED DWELLING UNIT SHALL BE PROVIDED WITH A WATER CLOSET WHICH SHALL BE PLACED IN A COMPARTMENT OR BATHROOM WITHIN EACH 			
THE AUTHORITY 10. THE CONTRACTOR SHALL OBTAIN "CERTIFICATE OF COMPLIANCE" REQUIRED IN ACCORDANCE WITH CHAPTER 1 OF TITLE 28 OF THE ADMINISTRATIVE CODE, ARTICLE 116, 28-116.4.1 CERTIFICATE OF COMPLIANCE SHALL BE REQUIRED FOR THE USE AND OPERATION OF THE FOLLOWING TYPE OF	 APARTMENT COMPLETELY SEPARATED FROM ANY OTHER WATER CLOSET. EVERY SUCH APARTMENT SHALL CONTAIN A BATH OR SHOWER AND A WASH BASIN AS PER MDL SEC. 76, 4. 18. OWNER SHALL KEEP ALL AND EVERY PART OF A MULTIPLE DWELLING ON THE LOT ON WHICH IT IS SITUATED AND THE ROOF, YARDS, COURTS, PASSAGES AREAS OR ALLEYS CLEAN AND FREE 			
SERVICE: 10.1.AIR CONDITIONING AND VENTILATING SYSTEMS 10.2.ELEVATORS, ESCALATORS, DUMBWAITERS ETC. 10.3.FUEL-BURNING AND FUEL-OIL STORAGE EQUIPMENT 10.4.REFRIGERATION SYSTEMS	 FROM VERMIN, DIRT, FILTH, GARBAGE OR OTHER THINGS OR MATTER DANGEROUS TO LIFE OR HEALTH AS PER MDL SEC. 80. 19. EVERY APARTMENT OF THREE OR MORE ROOMS IN EVERY CLASS "A" CONVERTED DWELLING UNIT SHALL HAVE ACCESS TO EVERY LIVING ROOM WITHOUT PASSING THROUGH ANY BEDROOM 			
 10.4.REPRIGERATION STSTEMS 10.5.HEATING SYSTEMS 10.6.BOILERS 11. THESE DRAWINGS HAVE BEEN PREPARED BY OR AT THE DIRECTION OF THE UNDERSIGNED AND TO BEST OF THE UNDERSIGNED'S KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT ARE IN 	 AND TO AT LEAST ONE WATER CLOSET WITHIN THE APARTMENT FROM EVERY BEDROOM WITHOUT PASSING THROUGH ANY OTHER BEDROOM AS PER MDL SEC. 179. 20. EVERY DWELLING UNIT SHALL HAVE EITHER TWO INDEPENDENT MEANS OF EGRESS OR ONE MEANS OF EGRESS EQUIPPED WITH A SPRINKLER SYSTEM AS PER MDL SEC. 187. 21. BULKHEADS AND SCUTTLES SHALL CONFORM TO MDL SEC. 188. EVERY SCUTTLE SHALL BE AT 			
 COMPLIANCE WITH THE NYC CONSTRUCTION CODES, INCLUDING THE 2014 NEW YORK CITY ENERGY CONSERVATION CODE 12. ALL WORK SHALL COMPLY WITH SECTION BC 1007 AND CHAPTER 11 "ACCESSIBILITY" OF THE NYC BUILDING CODE AND ICC A117.1.2003 	LEAST 21" IN WIDTH AND 28" IN LENGTH COVERED ON THE OUTSIDE WITH METAL AND PROVIDED WITH A STAIR OR A STATIONARY IRON LADDER LEADING THERETO AND EASILY ACCESSIBLE TO ALL OCCUPANTS OF THE DWELLING AS PER MDL SEC. 100-2.			
 ALL NEW WORK SHALL COMPLY WITH THE 2016 NEW YORK CITY ENERGY CONSERVATION CODE ALL NEW INTERIOR FINISHES SHALL BE CONSTRUCTED OF THE MATERIALS MEETING CHAPTER 8 FOR FLAME SPREAD AND SMOKE DEVELOPMENT RATINGS OF THE NYC BUILDING CODE 	NOTES ON SMOKE AND CARBON MONOXIDE DETECTORS : 1. EACH DWELLING UNIT SHALL BE EQUIPPED WITH AN APPROVED TYPE SMOKE DETECTOR DEVICE,			
 ALL NEW WORK IS CONSTRUCTED MORE THAN 200'-0" FROM ANY MTA STRUCTURE. THE WORK INCLUDES FOUNDATIONS, EARTHWORK AND BURIED OIL TANKS ALL PLUMBING FIXTURES INSTALLED UNDER THIS CONTRACT SHALL COMPLY WITH TABLE 403.1 OF THE 2014 NYC PLUMBING CODE PANIC HARDWARE INSTALLED UNDER THIS CONTRACT SHALL BE AS PER SECTION BC 1008.1.9. 	 "UL" APPROVED, RECEIVING PRIMARY POWER FROM THE BUILDING WIRING WITH NO SWITCHES IN THE CIRCUIT OTHER THAN THE OVER CIRCUIT DEVICE PROTECTING THE BRANCH CIRCUIT AS PER SEC. 907.2 OF THE NYCBC OR SECTIONS 27-978, 27-979, 27-980, AND 27-981 OF THE 1968 NYCBC. EACH DWELLING UNIT SHALL BE EQUIPPED WITH AN APPROVED TYPE CARBON MONOXIDE 			
 18. EXIT LIGHTING INSTALLED UNDER THIS CONTRACT SHALL BE AS PER SECTION BC 1006, WITH EMERGENCY POWER MEETING THE REQUIREMENTS OF 1006.3 19. EXIT SIGNAGE INSTALLED UNDER THIS CONTRACT SHALL BE AS PER SECTION BC 1011, WITH 	DETECTOR DEVICE, "UL" APPROVED, RECEIVING PRIMARY POWER FROM THE BUILDING WIRING WITH NO SWITCHES IN THE CIRCUIT OTHER THAN THE OVER CIRCUIT DEVICE PROTECTING THE BRANCH CIRCUIT AS PER SEC. 908.7 OF THE NYCBC OR SECTIONS 27-981.1, 27-981.2, AND 27-981.3 OF THE 1968 BUILDING CODE.			
 EMERGENCY POWER MEETING THE REQUIREMENTS OF SECTION 1011.5.3 20. EMERGENCY POWER, IF REQUIRED, UNDER THIS CONTRACT SHALL BE INSTALLED AS PER SECTION BC 2701 AND BC 2702 	 SUCH SMOKE DETECTOR SHALL BE EITHER THE IONIZATION-CHAMBER TYPE OR THE PHOTOELECTRIC TYPE AS PER C26-1705.3 (SUB B). ALL SMOKE AND CARBON MONOXIDE DETECTOR DEVICES TO BE REPLACED IN ACCORDANCE WITH 			
 ALL AISLES LEADING TO EXITS SHALL BE CONSTRUCTED WITH A MINIMUM OBSTRUCTED WIDTH OF 3'-0" UNDER THIS CONTRACT. SITE SAFETY PLANS SHALL BE SUBMITTED BY THE CONTRACTOR AND APPROVED BY THE AUTHORITY PRIOR TO APPLYING FOR CONSTRUCTION PERMITS 	 ARTICLE 12 OF CHAPTER 3 OF TITLE 28 OF THE ADMINISTRATIVE CODE OF THE CITY OF NEW YORK IN LOCATIONS SPECIFIED IN REFERENCE STANDARD 17-12 OF THE 1968 BUILDING CODE OR SECTION 907.2.10 OF THE NYCBC, AS APPLICABLE. ALL SMOKE AND CARBON MONOXIDE DETECTORS MUST BE INSTALLED WITHIN 15'-0" OF THE 			
 23. GLAZING USED FOR SKYLIGHTS SHALL BE AS PER SECTION BC 2405 24. FOLLOW CHAPTER 33 OF THE 2014 NYC BUILDING CODE FOR PROTECTION OF THE PUBLIC AND ADJACENT PROPERTIES 24.1. (A) 2014 NYCECC HAS BEEN USED FOR DESIGN AS REFLECTED IN THE ENERGY 	 ENTRANCE TO ANY SLEEPING ROOM, WALL OR CEILING MOUNTED AND MUST BE INDICATED ON THE PLAN AS PER M.F.P.A. #74-19180. 6. ALL SMOKE AND CARBON MONOXIDE DETECTORS SHALL BE PLACED ON BOTH THE INSIDE AND 			
ANALYSIS. THE RESPECTIVE REFERENCES AND CITATIONS FOR THE NYCECC ARE LISTED FOR THE PROGRESS INSPECTION 24.2. ASHRAE 90.1 HAS BEEN USED FOR DESIGN, AS REFLECTED IN THE ENERGY ANALYSIS, THE RESPECTIVE REFERENCES AND CITATIONS FOR ASHRAE 90.1 ARE LISTED FOR THE	 OUTSIDE OF BEDROOMS, AT THE TOP AND BOTTOM OF ALL STAIRWAYS, AND AT LEAST 4-INCHES FROM THE WALL IF ON CEILING OR 4-INCHES FROM CEILING IF ON WALL. 7. ALL SMOKE AND CARBON MONOXIDE DETECTORS SHALL NOT BE INSTALLED NEAR ANY BATHROOMS OR OTHER WARM AND DAMP AREAS. 8. A CERTIFICATE OF SATISFACTION INSTALLATION FOR SMOKE DETECTORS MUST BE FILED WITH 			
PROGRESS INSPECTION 25. PROGRESS INSPECTIONS REQUIRED TO BE PERFORMED DURING CONSTRUCTION FOR ANY NEW BUILDING, ADDITION OR ALTERATION PROJECT ARE IDENTIFIED BY THE APPLICANT ACCORDING TO THE SCOPE OF WORK AND LISTED AND DESCRIBED IN THE DRAWINGS IN ACCORDANCE WITH SECTION BC 110, WHERE AN INSPECTION OR TEST FAILS, THE CONSTRUCTION SHALL BE	THE DIVISION OF CODE ENFORCEMENT 10 DAYS AFTER INSTALLATION. 9. ALL BATTERIES TO BE REPLACED TWICE A YEAR. ALL CARBON MONOXIDE DETECTORS TO BE REPLACED EVERY 5-YEARS.			
 26. IN ACCORDANCE WITH ARTICLE 116 OF TITLE 28 AND SECTION BC 110, CONSTRUCTION SHALL BE SCHEDULED TO ALLOW REQUIRED PROGRESS INSPECTIONS TO TAKE PLACE, AND THAT ROOFS, 	FIRE STOPPING NOTES: 1. CONCEALED SPACES, (EXCEPT SHAFTS AND SPRINKLERED SPACES) WITHIN PARTITIONS, WALLS			
CEILINGS, EXTERIOR WALLS, INTERIOR WALLS, FLOORS, FOUNDATIONS, BASEMENTS AND ANY OTHER CONSTRUCTION SHALL NOT BE COVERED OR ENCLOSED UNTIL REQUIRED PROGRESS INSPECTIONS ARE COMPLETED OR THE PROGRESS INSPECTOR INDICATES THAT SUCH COVERING OR ENCLOSURE MAY PROCEED AT EACH STAGE OF CONSTRUCTION, AS APPLICABLE.	FLOORS, ROOFS, STAIRS, FURRING, PIPE SPACES, ETCTHAT WOULD PERMIT THE PASSAGE OF FLAMES, SMOKE, FUMES OR HOT GASES FROM ONE FLOOR TO ANOTHER OR ROOF SPACE, OF FROM ONE CONCEALED AREA TO ANOTHER SHALL BE FIRE STOPPED TO FORM AN EFFECTIVE DRAFT BARRIER OR SHALL BE FILLED WITH NON-COMBUSTIBLE MATERIAL. [SEC. C26.504.7] 2. EXTERIOR CORNERS AND EAVES SHALL BE FIRE STOPPED AT THE ENDS OF PARTY WALLS.			
27. FIRE-RATED DOOR AND FRAME ASSEMBLIES SHALL BE LABELED BY AN APPROVED AGENCY. THE LABELS SHALL COMPLY WITH NFPA 80, AND SHALL BE PERMANENTLY AFFIXED TO THE DOOR AND FRAME AS PER SECTION BC 715 OF THE 2008 NYC BUILDING HOUSE MAINTENANCE CODE NOTES	 INON-COMBUSTIBLE FIRE STOPPING SHALL BE USED IN FIRE DIVISIONS, FIREPLACES, FLUES AND CHIMNEYS. ALL SPACES BETWEEN CHIMNEYS AND WOOD JOISTS, BEAMS OR HEADERS SHALL BE FIRE STOPPED IN ACCORDANCE WITH THE PROVISIONS OF ARTICLE 5. 			
1. CLEANING OF ROOF, YARDS, COURTS AND OTHER OPEN SPACES SHALL COMPLY WITH HMC	BUILDING DEPARTMENT NOTES:			
 SEC.D-6-11.01. CLEANING OF INTERIOR OF DWELLING UNITS AS PER HMC SEC. D26-11.05. PAINTING OF PUBLIC PARTS AND WITHIN DWELLING UNITS AS PER HMC SEC. D26-12.01. 	 ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE 2014 BUILDING CODE OF THE CITY OF NEW YORK. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO STARTING WORK 			
 WINDOW FRAMES AS PER HMC SEC.D-6-12.05. COLLECTION OF WASTES PER ART. 14 OF THE HMC. WATER SUPPLY TO BUILDING TO COMPLY WITH HMC SEC. D26-15. WATER SUPPLY TO INDIVIDUAL UNITS & FIXTURES SHALL COMPLY WITH HMC SEC. D26-15.03. 	 ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION SUPERVISION. ARCHITECT LIABILITY LIMITED TO THE AMOUNT OF HIS FEE. NO BEAMS TO BE CUT OR NOTCHED. 			
 WATER SUPPET TO INDIVIDUAL UNITS & TATORIES STALL COMPET WITH TIME SEC. D20-15.03. DRAINAGE OF ROOF, YARDS AND COURTS TO COMPLY WITH HMC SEC. D26-16.03. HEAT AND HOT WATER AS PER HMC ART. 17. SUPPLY OF HOT WATER TO COMPLY WITH HMC SEC. 26-17.07. 	 ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE REQUIREMENTS OF THE CONSTRUCTION SAFETY ACT OF 1970 AND THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 INCLUDING ALL REVISIONS TO DATE. 			
 11. ELECTRIC LIGHTING FIXTURES SHALL BE INSTALLED IN EVERY PUBLIC HALL AS PER HMC SEC. D26-19.0 AND HMC SEC. D26-19.05. 12. LIGHTS NEAR ENTRANCE WAYS AND IN YARDS AND COURTS TO BE PROVIDED TO COMPLY 	 THE CONTRACTOR SHALL PREPARE AND SUBMIT ALL APPLICATIONS TO AUTHORITIES AND OBTAIN ALL NECESSARY PERMITS AND INSPECT THE SITE PRIOR TO COMMENCING ANY WORK, AND COMPLETE ALL TESTS AND PAY NECESSARY FEES. 			
 WITH HMC SEC. D26-19.07. 13. PROTECTION OF FIRE PREVENTION DEVICES TO COMPLY WITH ART. 20 OF THE HMC. 14. U.S.P.S. APPROVED TYPE MAILBOXES SHALL BE INSTALLED AS PER HMC SEC. D26-21.01. 	8. THE CONTRACTOR SHALL OBTAIN INSURANCES IN ACCORDANCE WITH BUILDING DEPARTMENT REQUIREMENTS AND SHALL INCLUDE HOLD HARMLESS CLAUSE FOR BUILDING, TENANT, ARCHITECT, AND ENGINEER.			
 FLOOR SIGNS SHALL BE POSTED AS PER HMC SEC. D26-21.03. STREET NUMBER SHALL BE POSTED AND MAINTAINED AS PER HMC SEC. D26-21.05. LIGHTING AND VENTILATION IN ONE AND TWO FAMILY DWELLING PER HMC SEC. D26-30.11. 	9. CONTRACTOR WILL NOTIFY ARCHITECT OR ENGINEER IN WRITING PRIOR TO "CLOSING UP" ROUGH CONSTRUCTION SO THAT CONTROLLED INSPECTION ITEMS MAY BE SEEN. 3303.11 MAINTENANCE OF EXITS			
 SANITARY FACILITIES TO COMPLY WITH ART. 31 OF THE HMC. LIGHTING AND VENTILATION TO COMPLY WITH HMC SEC. D26-32.03. 	REQUIRED MEANS OF EGRESS SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION OR DEMOLITION.			
DEMOLITION NOTES:	DOB DISCLAIMER NOTE:			
1. CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.	1. THIS PLAN IS APPROVED ONLY FOR WORK INDICATED ON THE APPLICATION SPECIFICATION SHEET.			
 AND NEATLY, IN A SYSTEMATIC MANNER. ALL EXISTING SURFACES AND EQUIPMENT SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS 	2. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON OR TO BE CONSIDERED AS EITHER BEING APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES.			
 REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER. 3. NO DEBRIS SHALL ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE 	TENANT PROTECTION PLAN FOR OCCUPIED HOUSING: 1. THE SITE OF THE BUILDING TO BE ALTERED OR DEMOLISHED, OR THE SITE OF THE NEW			
 COMPLETION OF DEMOLITION. 4. NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS 	BUILDING TO BE CONSTRUCTED, CONTAINS ONE OR MORE OCCUPIED DWELLING UNITS THAT WILL REMAIN OCCUPIED DURING CONSTRUCTION. FOR THE PURPOSE OF THIS FILING, THE FOLLOWING UNITS ARE TO BE CONSIDERED TO REMAIN			
AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE. 5. ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTED BY THE REQUIREMENTS OF SEC. 1814 OF THE NEW YORK CITY BUILDING CODE.	OCCUPIED DURING THE COURSE OF CONSTRUCTION:			
 REMOVE OR RELOCATE ALL WIRING, PLUMBING, MECHANICAL EQUIPMENT, ETC. AFFECTED BY REMOVAL OF PARTITIONS. REMOVED PIPES AND/OR LINES SHALL BE CUT TO POINT OF CONCEALMENT BEHIND OR BELOW FINISHED SURFACES, AND SHALL BE PROPERLY CAPPED, 	 <u>"APTs# 1W, 1E, 2E, 3W, 3E, 4W, 4E"</u> 2. AS PER LOCAL LAW 106 OF 2019, AND PURSUANT TO §28-120.1, A TENANT PROTECTION PLAN 			
 PLUGGED OR DISCONNECTED. 7. PROPERTY IS TO BE KEPT SECURE AT ALL TIMES. 8. THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND 	SHALL BE PREPARED AND FILED WITH THE DEPARTMENT OF BUILDINGS, PRIOR TO THE ISSUANCE OF A WORK PERMIT AND PRIOR TO THE COMMENCEMENT OF ANY WORK. THE TENANT PROTECTION PLAN SHALL BE PREPARED BY A REGISTERED DESIGN PROFESSIONAL WHO IS RETAINED BY THE CENERAL CONTRACTOR DEPEODMING THE ALTERATION. CONSTRUCTION OF PARTIAL DEMOLITION			

- PROPERTY IS TO BE KEPT SECURE AT ALL TIMES. THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK. ALL OPENINGS IN ANY WALL SHALL BE
- PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION. PROMPTLY REPAIR ANY DAMAGE TO EXISTING ITEMS IN AREA OF WORK AND ADJACENT SPACES CAUSED BY DEMOLITION OPERATIONS AT NO COST TO OWNER.
- PATCH ALL SURFACES, SUBSTRATES AND FINISHES SURROUNDING AND AFFECTED BY REMOVALS AND BRING UP TO NEW CONDITIONS.
- . PATCH, REPAIR OR REPLACE SUB-FLOORING IN PREPARATION TO RECEIVE NEW FLOOR FINISHES. 2. REMOVE FROM SITE ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION WORK AND AS REQUIRED DURING THE COURSE OF THE NEW CONSTRUCTION WORK
- AS PER LOCAL LAW 154 OF 2017, OWNER WILL NOTIFY THE DEPARTMENT AT LEAST 72HRS BEFORE BEGINNING WORK IN A BUILDING. THE OWNER WILL ALSO POST AND/OR DISTRIBUTE TO ALL TENANTS TPP NOTICES PRIOR TO THE START OF WORK DESCRIBING THE WAYS OF SAFEGUARDING SAFETY AND HEALTH ISSUES AND MAINTAINING ESSENTIAL SERVICES DURING CONSTRUCTION. ALL NOTICES WILL BE POSTED/DISTRIBUTED AS PER LL154 OF 2017.

GENERAL CONTRACTOR PERFORMING THE ALTERATION, CONSTRUCTION, OR PARTIAL DEMOLITION.

4. CONTRACTOR SHALL COORDINATE WITH OWNER FOR START DATE OF WORK.

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SCOPE OF WORK:

MISC, INTERIOR RENOVATION IN APT #1, #2F, #4R, #5R, RENAME APTS TO #1RN, #2FS. #4RN, #5RN.WORK TO INCLUDE DEMO OF NON LOAD BEARING PARTITIONS, NEW NON LOAD BARING INTERIOR PARTITIONS, NEW BATHROOM AND KITCHEN FINISHES. NO CHANGE TO EGRESS, USE OR OCCUPANCY.

LIST OF SEPARATE APPLICATIONS

PLUMBING AND STURCTURAL WORK FILED UNDER APPLICATION #

SPECIAL AND PROGRESS INSPECTIONS NOTES:

ALL RELATED REQUIRED SPECIAL AND PROGRESS INSPECTIONS FOR EACH SEPARATE APPLICATION SHALL BE FILED IN CONJUNCTION WITH THAT SPECIFIC APPLICATION.

2. ALL CONSTRUCTION SHALL CONFORM TO THE RULES AND REGULATIONS OF THE BUILDING CODE OF THE CITY OF NEW YORK. 3. SPECIAL AND PROGRESS INSPECTIONS SHALL BE MADE AND WITNESSED BY OR UNDER THE DIRECT SUPERVISION OF AN ARCHITECT OR ENGINEER RETAINED BY THE OWNER AND ACCEPTABLE TO THE ARCHITECT OF RECORD. TEST REPORTS AND CERTIFICATES OF INSPECTION SHALL BE FILED WITH THE BUILDING DEPARTMENT. SPECIAL AND PROGRESS INSPECTIONS UNDER THIS APPLICATION SHALL BE OBTAINED FOR THE

BC 1704.20.1

BC 1704.27

BC 110.3.5

BC 110.3.4

LIST OF SPECIAL INSPECTIONS:

FOLLOWING AREAS OF WORK.

 STRUCTURAL STABILITY - EXISTING BUILDINGS FIRE-RESISTANT PENETRATIONS AND JOINTS

LIST OF PROGRESS INSPECTIONS:

- ENERGY CODE COMPLIANCE INSPECTIONS FIRE-RESISTANCE RATED CONSTRUCTION FINAL*
 - 28-116.2.4.2, BC 110.5, DIRECTIVE 14 OF 1975, AND 1 RCNY §101-10

LIST OF ENERGY CODE PROGRESS INSPECTIONS:

 INSULATION PLACEMENT AND R-VALUES (IA2),(IIA2) • FENESTRATION & DOOR U-FACTOR & PRODUCT RATINGS (IA3), (IIA3) FENESTRATION AIR LEAKAGE (IA4), (IIA4) AIR BARRIER - VISUAL INSPECTION (IA6), (IIA6) LIGHTING IN DWELLING UNITS (IIC2)

ENERGY CONSERVATION NOTE:

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH 2020 NYCECC

NOTE TO CONTRACTOR:

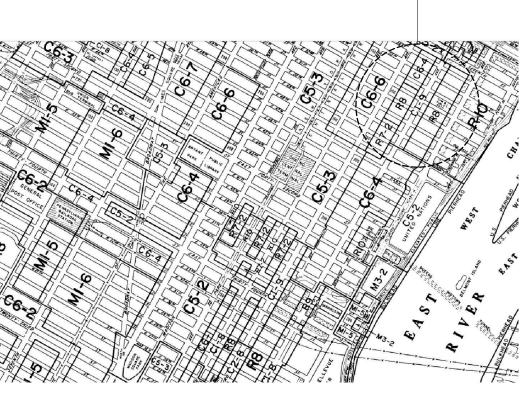
CONTRACTOR IS RESPONSIBLE FOR PROVIDING RECEIPTS AND/OR SPECIFICATIONS FOR ANY AND ALL CONTROLLED INSPECTIONS INCLUDING SPECIAL, PROGRESS, & ENERGY CODE COMPLIANCE ITEMS AS REQUESTED BY ARCHITECT / ENGINEER. ALL SHOP DRAWINGS SHALL BE PRODUCED TO THE ARCHITECT / ENGINEER FOR APPROVAL PRIOR TO THE ORDER AND INSTALLATION OF SPECIFIED ITEM.

DRAWING LIST

ARCHITECTURAL DRAWINGS					
G-001	GENERAL NOTES, PLOT PLAN				
	DRAWING LEGEND, DRAWING LIST FEMA FLOOD MAPS, ZONING MAPS				
A-100	DEMOLITION FLOOR PLANS				
A-101	CONSTRUCTION FLOOR PLANS				
A-102	REFLECTED CEILING PLAN				
	LIGHTING SCHEDULE NOTES ON EXHAUSTS & DAMPERS				
A-500	MISCELLANEOUS DETAILS:				
	WALL, FRAMING, CEILING, FIRESTOPPING, FIRE ENCLOSURE, LIGHT HOUSING, ENERGY				
	ANALYSIS				
A-501	HANDICAP ADAPTABLE DETAILS				

***NOTE REGARDING TENANT PROTECTION PLAN** THE GENERAL CONTRACTOR IS RESPONSIBLE TO RETAIN THE SERVICES OF A REGISTERED DESIGN PROFESSIONAL TO PREPARE AND SUBMIT A TENANT PROTECTION PLAN TO THE DOB PRIOR TO THE ISSUANCE OF A WORK PERMIT

CONTRACTOR SHALL ALSO BE RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE DOB WITH NOTIFICATION 72-HRS PRIOR TO THE START OF WORK.



SITE LOCATION



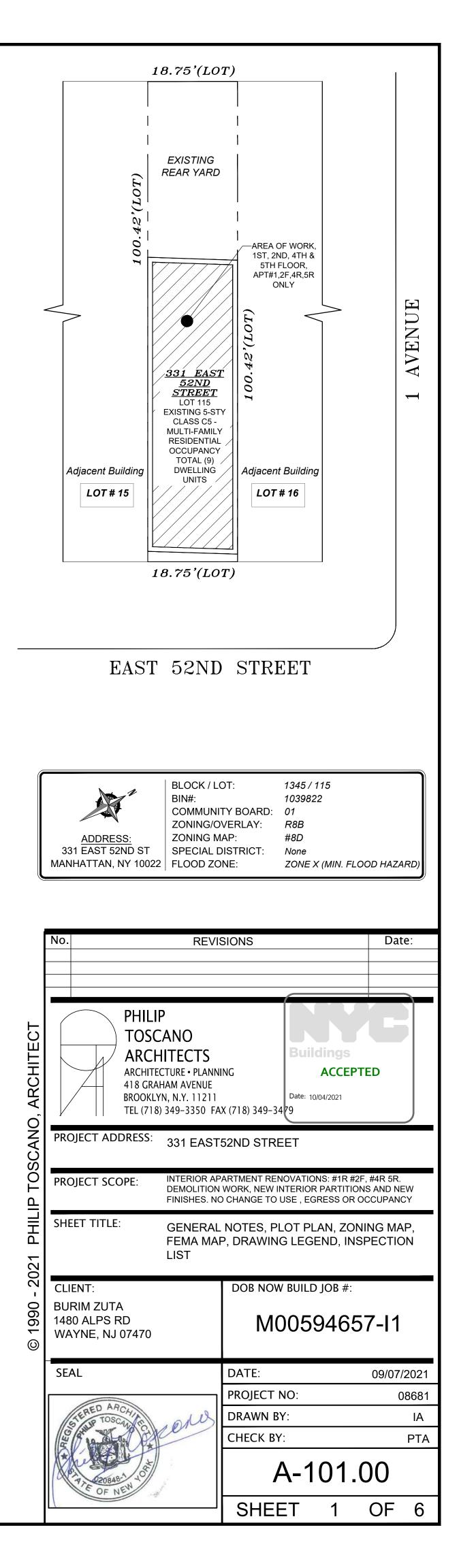
SITE LOCATION

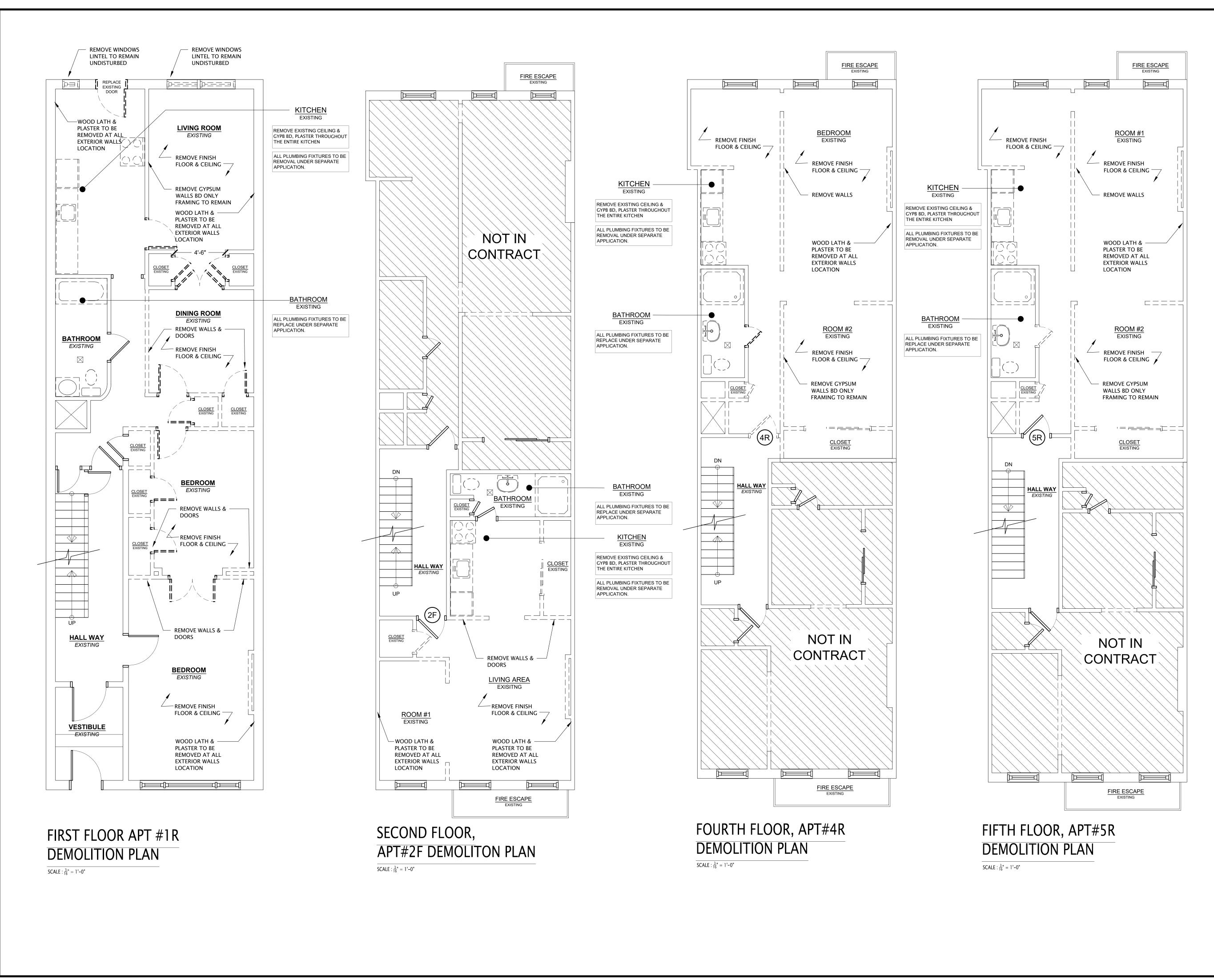


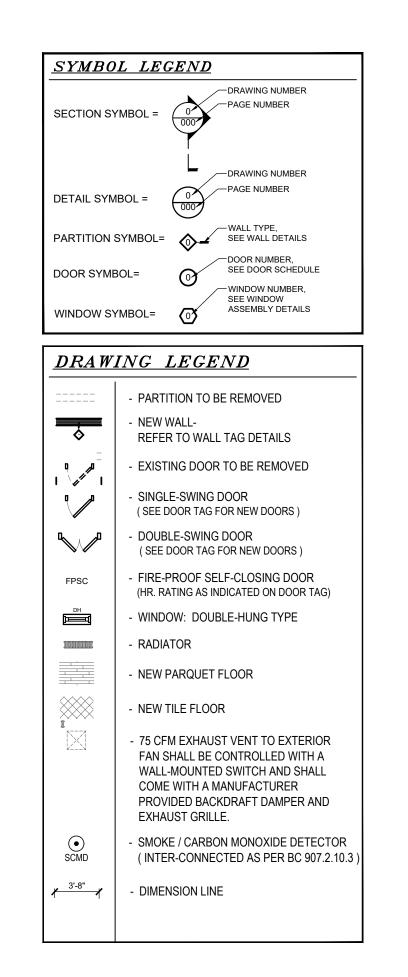


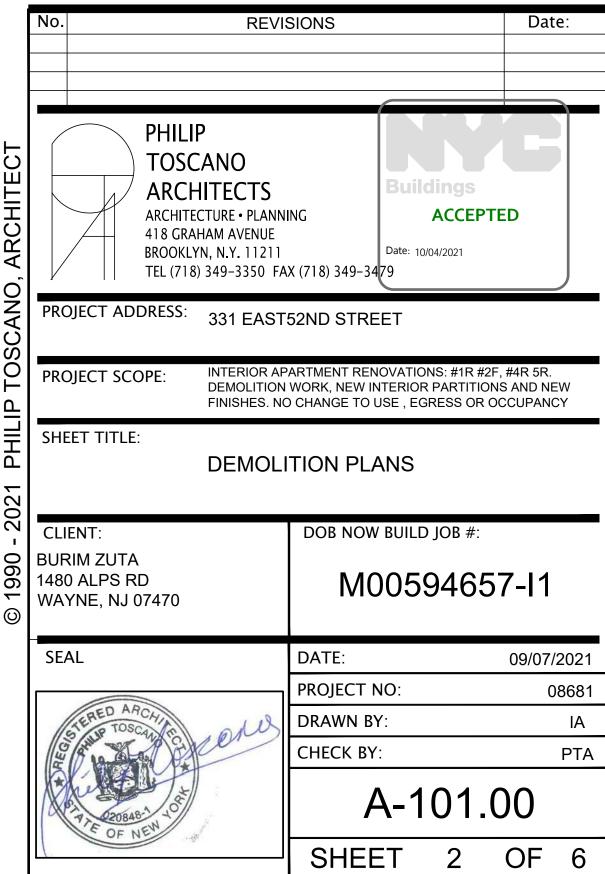
2007 & 2013 FEMA FIRM MAP #3604970089F MAP# ZONE: N/A

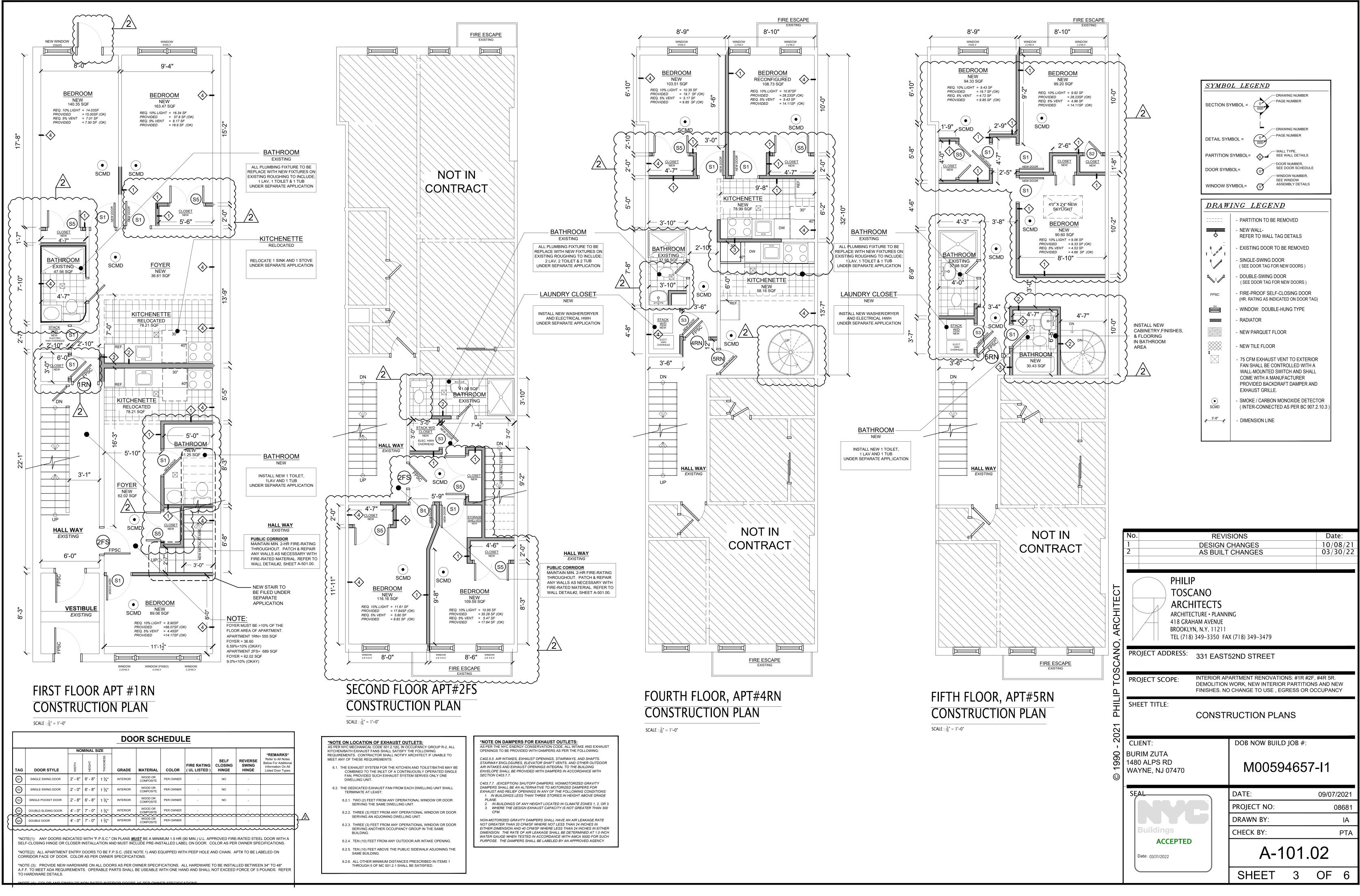
* PROPERTY IS **NOT** IN A SPECIAL FLOOD HAZARD AREA AS PER 2007 & 2013 FEMA FIRM MAPS.

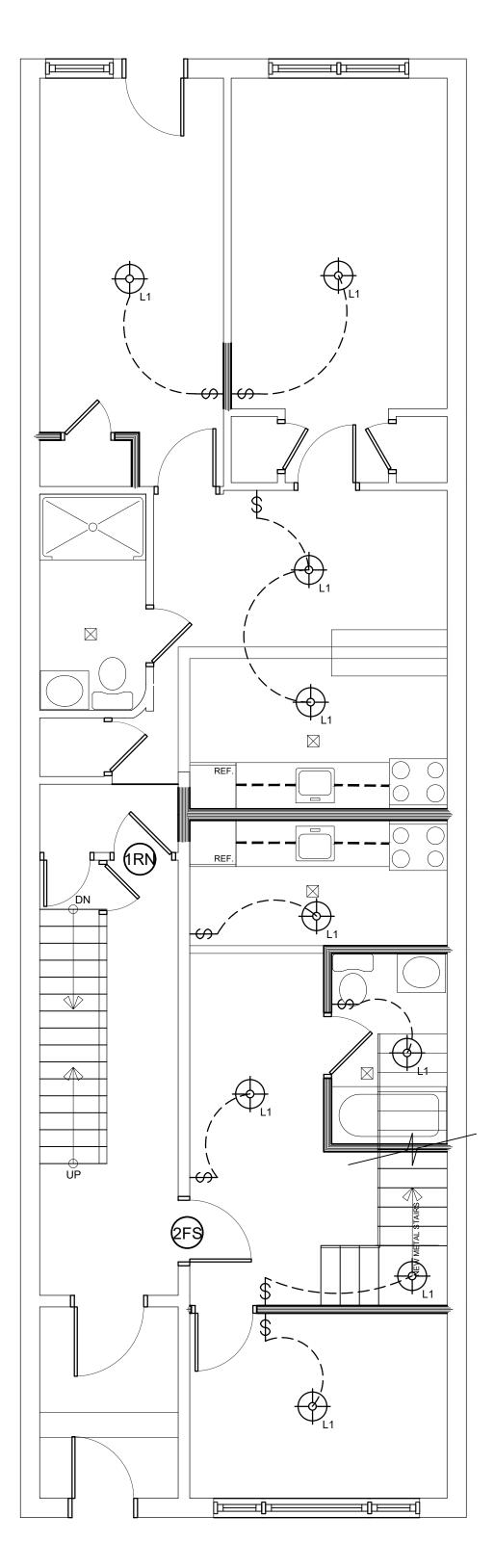






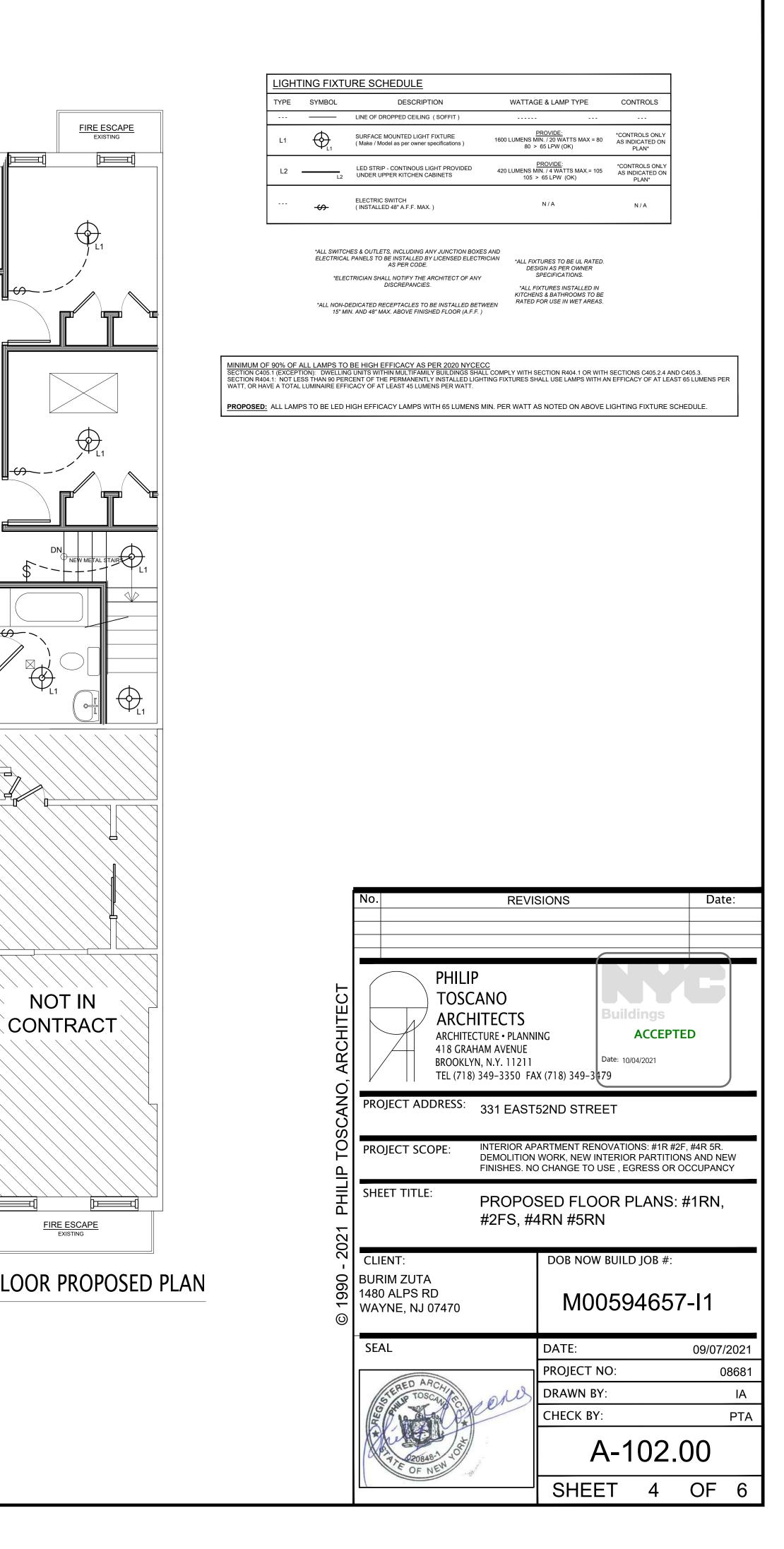


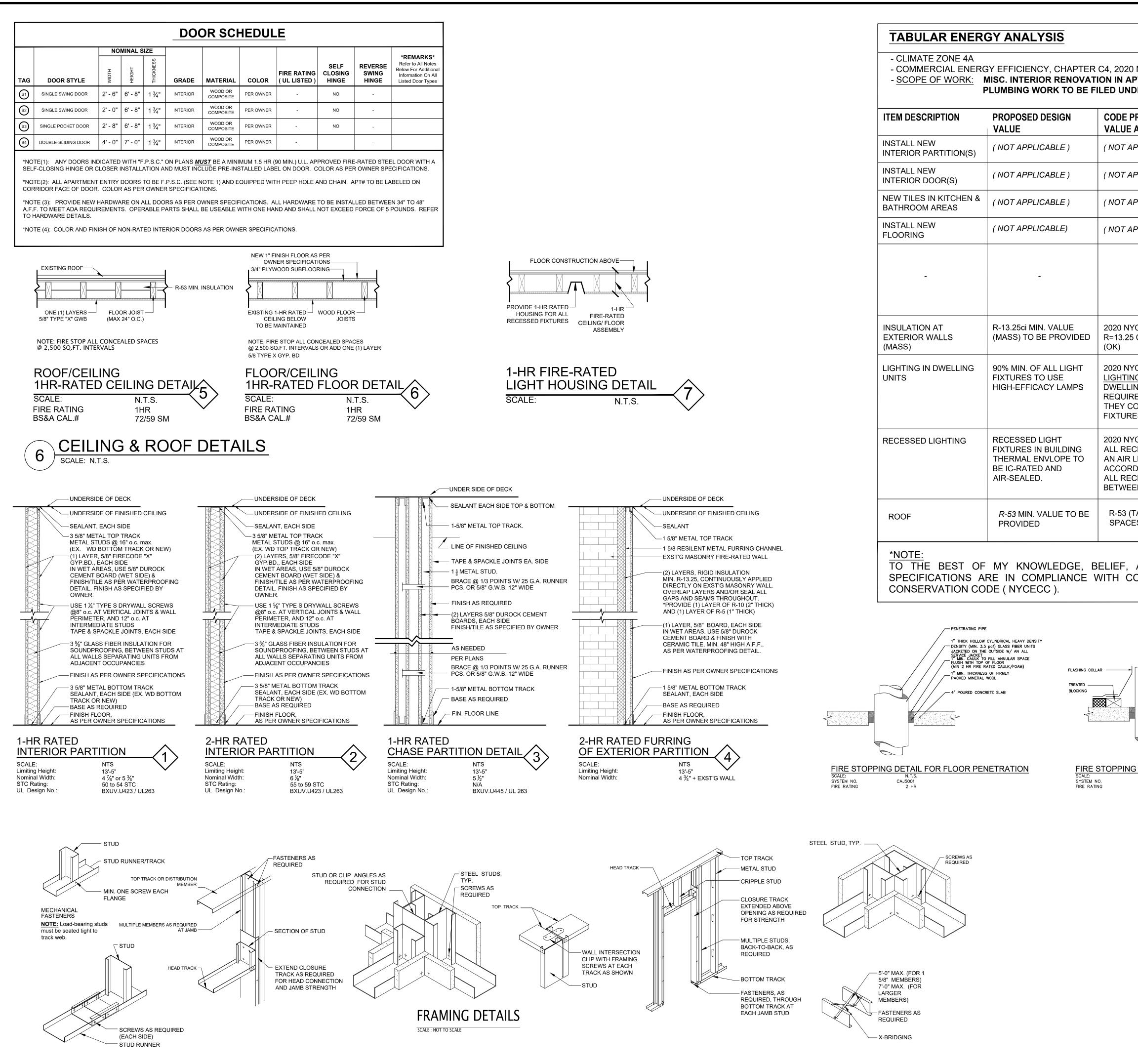




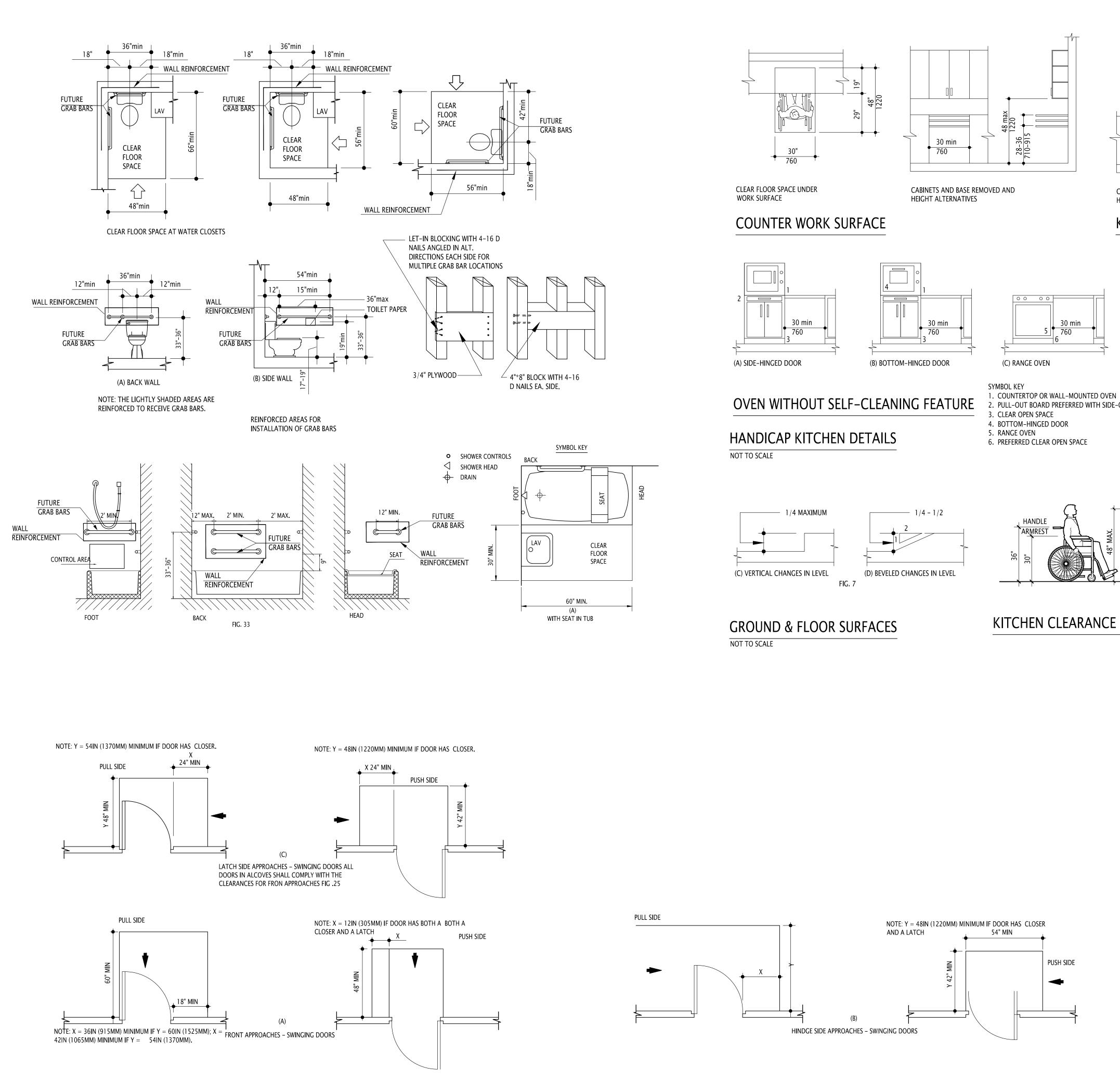
FIRST FLOOR APT#1RN PROPOSED PLAN SCALE : $\frac{3}{16}$ " = 1'-0"

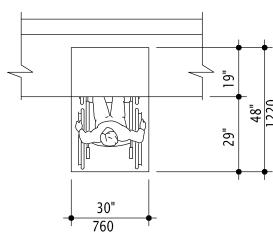


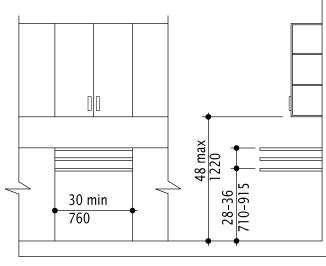




NYCECC T#1, 1ST FLOOR, 2F, 2ND FLOOR, 4R, 4TH FLOO ER SEPARATE APPLICATION . NO CHANGE TO U			ſ				
RESCRIBED AND CITATION							
PPLICABLE)							
PPLICABLE)							
PPLICABLE)							
PPLICABLE)							
_							
CECC: <u>(TABLE C402.1.3)</u> WALLS ABOVE GRADE = (M		PROVIDED ON					
CONTINUOUS INSULATION REQUIRED AT WOOD FRACE CECC: (SECTION C405.1) (SECTION R404.1) <u>G WITHIN DWELLING UNITS</u> NG UNITS WITHIN COMMERCIAL BUILDINGS SHALL NO ED TO COMPLY WITH SECTIONS C405.2 - C405.5 PRO OMPLY WITH SECTION R404.1 REQUIRING 90% OF ALL S TO BE HIGH EFFICACY LAMPS.	OT BE VIDED THAT	REFER TO SH NOTE ON REF PLAN & LIGHT REFER TO SH AND A-104.00	LECTED CEILING ING LEGEND EET A-103.00,				
CECC: (SECTION C402.5.8) ESSED LUMINARIES SHALL BE IC-RATED AND LABEL EAKAGE RATE OF NOT MORE THAN 2.0 CFM WHEN T DANCE WITH ASTM E 283 AT A 1.57 PSF PRESSURE D ESSED LUMINARIES SHALL BE SEALED WITH A GASH	ESTED IN IFFERENTIAL. KET OR CAULK	NOTE ON REF PLAN & LIGHT REFER TO SH					
ABLE C402.1.3 EXISTING CEILING / ROOF ASSEMBLIE S)	S AND ATTIC	REFER TO SHEET A-501.00 DETAIL-6					
OMMERCIAL CHAPTER C4 OF THE 2020	NYC ENER	3Y					
1" THICK HOLLOW CYLINDRICAL HEAVY DENSITY DENSITY (MIN. 3.5 pcf) GLASS FIBER UNITS JACKETED ON THE OUTSIDE W/ AN ALL SERVICE JACKET 1" MIN. CAULK TO FILL ANNULAR SPACE FLUSH WITH TOP OF FLOOR	No.	REVI	SIONS		Date	e:	
DETAIL FOR ROOF PENETRATION N.T.S. CAJ5001 2 HR	T A AR 41 BR	HILIP OSCANO RCHITECTS CHITECTURE • PLANN 8 GRAHAM AVENUE DOKLYN, N.Y. 11211 L (718) 349–3350 FA	ING Date: 10	dings ACCEPTED			
2 HR ONY	PROJECT ADDRE	ESS: 331 EAST	52ND STREET				
O L	PROJECT SCOPE	. DEMOLITION	PARTMENT RENOVATIO WORK, NEW INTERIO D CHANGE TO USE , EO	R PARTITIONS A	ND NE		
021 PHILIP	SHEET TITLE:	DETAILS	8				
- 2	CLIENT: BURIM ZUTA		DOB NOW BUILI	D JOB #:			
© 1990	1480 ALPS RD WAYNE, NJ 074	70	M0059	4657-	1		
	SEAL	te cons	DATE: PROJECT NO: DRAWN BY: CHECK BY:	0		2021 8681 IA PTA	
	PIF OF NEW	The states		500.0			
			SHEET	5 0	DF	Ю	

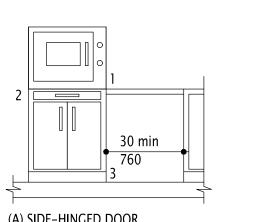


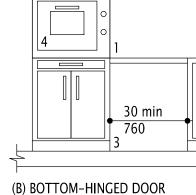


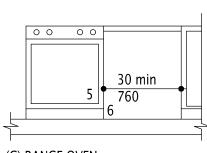


30 min 760

KITCHEN SINK

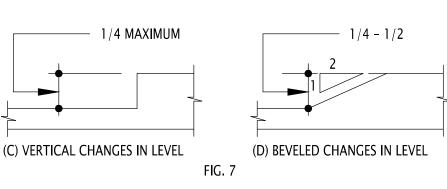


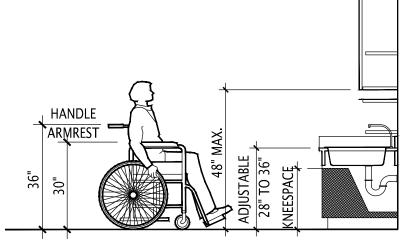




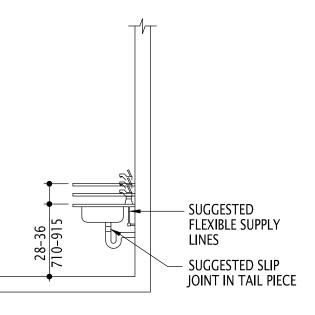
2. PULL-OUT BOARD PREFERRED WITH SIDE-OPENING DOOR

6. PREFERRED CLEAR OPEN SPACE





KITCHEN CLEARANCE DIMENSIONS 'K4'



CABINETS AND BASE REMOVED AND HEIGHT ALTERNATIVES

REVISIONS Date: PHILIP TOSCANO ш **Juildings** ARCHITECTS ACCEPTED ARCHITECTURE • PLANNING 418 GRAHAM AVENUE Ñ Date: 10/04/2021 BROOKLYN, N.Y. 11211 TEL (718) 349-3350 FAX (718) 349-3479 PROJECT ADDRESS: 331 EAST52ND STREET INTERIOR APARTMENT RENOVATIONS: #1R #2F, #4R 5R. DEMOLITION WORK, NEW INTERIOR PARTITIONS AND NEW PROJECT SCOPE: FINISHES. NO CHANGE TO USE , EGRESS OR OCCUPANCY ΞI SHEET TITLE: HANDICAP ADAPTABLE DETAILS DOB NOW BUILD JOB #: CLIENT: BURIM ZUTA 6 1480 ALPS RD M00594657-I1 WAYNE, NJ 07470 DATE: SEAL 09/07/2021 PROJECT NO: 08681 DRAWN BY: IA CHECK BY: ΡΤΑ A-501.00 SHEET 6 OF 6